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REC FOR: PAUL LAUGHTON

**DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS
FOR TRAPPERS CROSSING, A PLANNED COMMUNITY**

21-121-0001 to 0015
21-122-0001 to 0013

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When Recorded. Return To:

**DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS
FOR TRAPPPERS CROSSING, A MASTER PLANNED COMMUNITY**

THIS DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS ("Declaration") FOR A MASTER PLANNED COMMUNITY is made this 13th day of October, 2011, by PC LAND DEVELOPMENT, a Utah limited liability company ("Declarant").

The Declarant is the owner of the real property described on Exhibit "A," which is attached hereto and incorporated herein by this reference. This Declaration imposes upon the properties mutually beneficial restrictions under a general plan of improvement for the benefit of the owners of each portion of the properties and establishes a flexible and reasonable procedure for the overall development, administration, maintenance and preservation of the properties. In furtherance of such plan, this Declaration provides for the creation of the Trappers Crossing Homeowners Association, Inc., to own, operate and maintain common areas and to administer and enforce the provisions of this Declaration, the Articles of Incorporation, the By-Laws, and the Design Guidelines.

The Declarant hereby declares that all of the property described on Exhibit "C" and any Additional Property that may be subjected to this Declaration by way of Supplemental Declaration shall be held, sold, used and conveyed subject to the restrictions, covenants, conditions and easement which shall run with the title to the real property subjected to this Declaration. This Declaration shall be binding upon all parties having any right, title, or interest in any portion of the properties, their heirs, successors, successors-in-title, and assigns, and shall inure to the benefit of each owner of any portion of the properties.

The Declarant does hereby submit the real property described herein, together with all roadways, improvements, and other permanent fixtures now and later situated thereon and all rights and privileges pertaining thereto to the Homeowners Association form of ownership provided for in applicable portions of the State of Utah Code. The name of the community created by this Declaration is "Trappers Crossing." All of the property comprising the common interest community is located in Weber County, Utah. Trappers Crossing is a "planned community" as defined by _____ of the Utah Code.

ARTICLE 1 – DEFINITIONS

1.1 **“Act”** means the _____ Common Interest Ownership Act, as it may be amended from time to time.

1.2 **“Affiliate”** means a Person that directly or indirectly, through one or more intermediaries, controls or is controlled by or is under common control with another Person.

1.3 **“Annual Assessments”** means the Assessments levied pursuant to Section 6.2.

1.4 **“Architectural Review Committee”** means the committee established pursuant to Section 5.10.1.

1.5 **“Architectural Review Committee Rules and Regulations”** means the rules and guidelines adopted by the Architectural Review Committee pursuant to Section 5.10 including the Trappers Crossing Architectural Design Guidelines, as amended or supplemented from time to time.

1.6 **“Articles”** means the articles of incorporation of the Trappers Crossing Homeowners Association, as filed with the Secretary of State of Utah, as they may be amended from time to time, attached hereto as **Exhibit B**.

1.7 **“Assessable Property”** means each Lot within the Trappers Crossing development.

1.8 **“Assessment”** means an Annual Assessment or a Special Assessment.

1.9 **“Assessment Lien”** means the lien created and imposed by Article 6.

1.10 **“Assessment Period”** means the period set forth in Section 6.5.

1.11 **“Association”** means Trappers Crossing Homeowners Association, Inc., a Utah nonprofit corporation, and its successors and assigns.

1.12 **“Association Land”** means all land, together with all Improvements situated thereon, which the Association at any time owns in fee or in which the Association has a leasehold interest, easement or license for as long as the Association is the owner of the fee or holds such leasehold interest, easement or license.

1.13 **“Association Member”** means any Person who is a member of the Association as provided in Section 5.6.

1.14 **“Association Membership”** means a membership in the Association.

1.15 **“Association Membership Assessment”** shall have the meaning given such term in Section 6.3.1(a).

1.16 **“Association Rules”** means the rules adopted by the Board pursuant to Section 5.3 as amended from time to time.

1.17 **"Board"** means the Board of Directors of the Association, responsible for the administration of the Association as provided in the By-Laws.

1.18 **"By-Laws"** means the By-Laws of the Association, attached hereto as **Exhibit C**, as amended from time to time.

1.19 **"Common Areas"** means: (a) all Association Land; (b) all land, and the Improvements situated thereon, within the Project which the Declarant indicates on a Recorded subdivision plat or other Recorded instrument is to be conveyed to the Association for the benefit and use of the Association Members; (c) all land, and the Improvements situated thereon, which is situated within the boundaries of a Lot or Parcel and which is designated on a Recorded subdivision plat Recorded by the Declarant or approved by the Declarant or the Association as land which is to be improved, maintained, repaired and replaced by the Association; (d) all land, and the Improvements situated thereon, within or adjacent to the Project which the Declarant indicates on a Recorded subdivision plat or other Recorded instrument is to be used for roads, trails, parks, landscaping, drainage or water retention or flood control for the benefit of the Project or the general public; (e) all real property, and the Improvements situated thereon, within or adjacent to the Project located within dedicated rights-of-way with respect to which Weber County has not accepted responsibility for the maintenance thereof, but only until such time as Weber County has accepted all responsibility for the maintenance, repair and replacement of such areas, and only if the specific areas to be maintained, repaired and replaced by the Association pursuant to this clause have been expressly approved by either the Declarant or the Board; and (f) all land, and the Improvements situated thereon, which is designated in a Recorded amendment to this Declaration as Parcel Assessment Area.

1.20 **"Common Expenses"** means expenditures made by or financial liabilities of the Association, together with any allocations to reserves, incurred or to be incurred for the general benefit of all Owners.

1.21 **"Declarant"** means PC Land Development, LLC., a Utah limited liability company, and its successors, and any Person to whom PC Land Development, LLC may expressly assign any or all of its rights under this Declaration.

1.22 **"Declarant Affiliate"** means any Person directly or indirectly controlling, controlled by or under common control with the Declarant, and shall include, without limitation, any general or limited partnership, limited liability company, limited liability partnership or corporation in which the Declarant (or another Declarant Affiliate) is a general partner, managing member or controlling shareholder.

1.23 **"Declaration"** means this Declaration of Covenants, Conditions and Restrictions, as amended from time to time.

1.24 **"Design Guidelines"** means the Architectural Design Guidelines prepared for and governing site and architectural designs and construction within the Trappers Crossing Common Interest Community, together with review procedures and fees applicable to all or any portion of the properties and any annexations thereto.

1.25 **"Developer"** means any Person (other than the Declarant) who is in the business of developing, selling or leasing real property and who acquires one or more Lots or

Parcels in connection with, and in the course of such business, for the purpose of developing, selling or leasing such Lots or Parcels.

1.26 **"Exclusive Common Area"** means a portion of the Common Area intended for the exclusive use or primary benefit of one or more, but less than all, lots.

1.27 **"Exempt Property"** means: (a) all land and improvements owned by, or dedicated to and accepted by, the United States, the State of Utah, Weber County or any municipality having jurisdiction, or any political subdivision of any of them, for as long as such entity or political subdivision is the owner thereof or for as long as said dedication remains effective; (b) all Association Land, and (c) all Common Areas as shown on the plats of each phase of the Development when and if filed with the County.

1.28 **"First Mortgage"** means a Mortgage Recorded against a Lot which has priority over all other Mortgages Recorded against that Lot.

1.29 **"Improvement"** means: (a) any Residence, building, guest house or other accessory building, fence or wall; (b) any swimming pool, tennis court, basketball court, road, driveway, parking area or satellite dish; (c) any trees, plants, shrubs, grass or other landscaping improvements of every type and kind; (d) any statuary, fountain, artistic work, craft work, figurine, ornamentation or embellishment of any type or kind (whether or not affixed to a structure or permanently attached to a Lot); and (e) any other structure of any kind or nature.

1.30 **"Lessee"** means the lessee or tenant under a lease, oral or written, of any Lot (or part thereof), including an assignee of the lessee's or tenant's interest under a lease.

1.31 **"Lot"** means a portion of the Project intended for independent ownership and residential use and designated as a lot on any Plat and, where the context indicates or requires, shall include any Residence, building, structure or other Improvements situated on the Lot.

1.32 **"Master Plan"** means the land use plan or development plan for "Trappers Crossing," as such plan may be amended from time to time, which plan includes the property described on Exhibit "C". Inclusion of property on the Master Plan shall not, under any circumstances, obligate the Declarant to subject such property to this Declaration, nor shall the exclusion of property from the Master Plan bar its later annexation in accordance with this Declaration.

1.33 **"Maximum Association Membership Assessment"** shall have the meaning given such term in Section 6.3.1(b).

1.34 **"Mortgage"** means a deed of trust or a mortgage Recorded against a Lot.

1.35 **"Mortgagee"** means a beneficiary under a deed of trust, or a mortgagee under a mortgage, Recorded against a Lot, and **"First Mortgagee"** means such a beneficiary or mortgagee under a first lien priority Mortgage.

1.36 **"Occupant"** means any Person other than an Owner who occupies or is in possession of a Lot, or any portion thereof or building or structure thereon, whether as a Lessee or otherwise, other than on a merely transient basis (and shall include, without limitation, a Resident).

1.37 **"Owner"** means the Person or Persons who individually or collectively own fee title to a Lot (as evidenced by a Recorded instrument), provided that: (a) the Declarant (and not the fee title holder) shall be deemed to be the "Owner" of each Lot with respect to which fee title is held by a Declarant Affiliate or by a trustee (other than the trustee of a deed of trust) for the benefit of the Declarant or a Declarant Affiliate; (b) in the event that, and for so long as, the Declarant or a Declarant Affiliate has, pursuant to a written agreement, an existing right or option to acquire any one or more Lots (other than by exercise of a right of first refusal or right of first offer), the Declarant shall also be deemed to be the Owner of each Lot with respect to which the Declarant or a Declarant Affiliate has such right or option; and (c) in any case where fee title to a Lot is vested in a trustee under a deed of trust, the owner of the trustor's interest under the deed of trust shall be deemed to be the "Owner" of that Lot. Where reference is made in this Declaration to Lots owned by a Person, such phrase shall be deemed to refer to Lots of which that Person is the Owner, as determined pursuant to this Section.

1.38 **"Period of Declarant Control"** means the period of time during which the Declarant is entitled to exercise Development Rights and Special Declarant Rights. The Period of Declarant Control shall commence on the date of the Recording of this Declaration and end on the earlier of: (a) one hundred twenty (120) days after the conveyance of title by the Declarant to the last Lot owned by the Declarant; or (b) such date on which the Declarant elects to terminate the Period of Declarant Control by the Declarant's providing written notice of the Declarant's termination to the Association.

1.39 **"Person"** means a natural person, corporation, business trust, estate, trust, partnership, association, limited liability company, limited liability partnership, joint venture, government, governmental subdivision or agency, or other legal or commercial entity.

1.40 **"Plat"** means the recorded subdivision plat designating the Lots, Common Areas and boundaries of the Project.

1.41 **"Private Amenity"** means certain real property and any improvements and facilities thereon located adjacent to, in the vicinity of, or within the properties which are owned and operated, in whole or in part, by persons other than the Association for recreation or other purposes. The use of the term "Private Amenity" shall not be construed to imply or require a private club. Private Amenities may be operated on a club membership, daily fee, use fee, public or private basis, or otherwise.

1.42 **"Project" or "Property" or "Properties"** means the real property described on **Exhibit C** attached hereto together with all Improvements located thereon, and all real property, together with all Improvements located thereon, which is annexed and subjected to this Declaration pursuant to Section 2.2.

1.43 **"Project Documents"** means this Declaration, the By-Laws, the Articles, all supplemental declarations, the Architectural Design Guidelines, the Association Rules, the Architectural Review Committee Rules, cost sharing agreements and all additional covenants governing any portion of the properties, or any of the above documents as each may be amended from time to time.

1.44 **"Public Records"** means documents recorded in the Office of the Clerk of the County Commission of Weber County, Utah, or such other place designated as the official location for recording of deeds and similar documents affecting title to real estate.

1.45 **"Purchaser"** means any Person, other than the Declarant, who by means of a voluntary transfer becomes the Owner of a Lot except for: (a) a Person who purchases a Lot and then leases it to the Declarant for use as a model in connection with the sale or lease of other Lots; or (b) a Person who, in addition to purchasing a Lot, is expressly assigned any or all of the Declarant's rights as the Declarant under this Declaration; or (c) a Developer.

1.46 **"Record," "Recording," "Recorded" and "Recordation"** means placing or having placed an instrument of public record in the official records of Weber County, Utah.

1.47 **"Resident"** means each individual who resides in any Residence.

1.48 **"Residence"** means any building, or portion of a building, including a guest house or other accessory building, situated upon a Lot and designed and intended for separate, independent use and occupancy as a residence.

1.49 **"Special Assessment"** means any Assessment levied pursuant to Section 6.4.

1.50 **"Special Declarant Rights"** means the rights of the Declarant as set forth in Article 13.

1.51 **"Special Use Fees"** means any fees charged by the Association for use of Common Areas pursuant to Section 4.1.1(e).

1.52 **"Supplemental Declaration"** means an amendment or supplement to this Declaration filed pursuant to Article 2 which subjects additional property to this Declaration and/or imposes, expressly or by reference, additional restrictions and obligations on the land described therein, or which affects any other amendment or modification of this Declaration.

1.53 **"Visible From Neighboring Property"** means, with respect to an object, that the object is or would be visible to a six-foot tall person standing at ground level on any part of neighboring property, except where the object is visible solely through a wrought iron fence and would not be visible if the wrought iron fence were a solid fence.

ARTICLE 2 - PLAN OF DEVELOPMENT

2.1 **Property Initially Subject to the Declaration.** This Declaration is being Recorded to establish a general plan for the development and use of the Project in order to protect and enhance the value and desirability of the Project. The Declarant intends to develop the Project to consist of 26 single family lots. The Project may be expanded pursuant to the provisions of Section 2.2. All of the property within the Project shall be held, sold and conveyed subject to this Declaration. By acceptance of a deed or by acquiring any interest in any of the property subject to this Declaration, each Person, for himself, herself or itself, and his, her or its heirs, personal representatives, successors, transferees and assigns, binds himself, herself or itself, and his, her or its heirs, personal representatives, successors, transferees and assigns, to all of the provisions, restrictions, covenants, conditions, rules and regulations now or hereafter imposed by this Declaration. In addition, each such Person by so doing acknowledges that this Declaration sets forth a general scheme for the development and use of the Property and evidences his, her or its intent that all the restrictions, conditions, covenants, rules and regulations contained in this Declaration shall run with the land and be binding on all subsequent and future Owners, grantees, Purchasers, assignees, Lessees and transferees thereof. Furthermore, each such Person fully understands and acknowledges that this Declaration shall be mutually beneficial, prohibitive and enforceable by the Association and all Owners.

2.2 **Annexation of Additional Property**

2.2.1 At any time on or before the date of the conveyance by Declarant of title to the last Lot owned by the Declarant, the Declarant shall have the right to annex and subject to this Declaration any Additional Property that may hereafter be identified without the consent of any other Owner or Person (other than the Person who owns the property to be annexed, if other than the Declarant), from time to time, by one or more Supplemental Declarations. The annexation of all or any portion of any Additional Property shall be effected by the Declarant Recording a written instrument setting forth the legal description of the Additional Property being annexed and stating that such Additional Property is annexed and subjected to the Declaration.

2.2.2 Any Additional Property identified pursuant to Section 2.2.1 may be annexed in whole, at one time, or in one or more portions at different times, or it may never be annexed, and there are no limitations upon the order of annexation or the boundaries thereof. Property annexed by the Declarant pursuant to this Section 2.2 need not be contiguous with other property in the Project, and the exercise of the right of annexation as to any portion of any Additional Property shall not bar the further exercise of the right of annexation as to any other portion of any Additional Property. The Declarant makes no assurances as to when or whether any Additional Property may be annexed to the Project.

2.3 **Withdrawal of Property.** At any time on or before the date of the conveyance by Declarant of title to the last Lot owned by the Declarant, the Declarant shall have the right to withdraw property from the Project without the consent of any other Owner or Person (other than the Owner of such property, if other than the Declarant). The withdrawal of all or any portion of the Project shall be effected by the Declarant Recording a written instrument setting forth the legal description of the property being withdrawn. Upon the withdrawal of any property

from the Project pursuant to this Section, such property shall no longer be subject to any of the covenants, conditions and restrictions set forth in this Declaration.

2.4 Disclaimer of Representations. The Declarant makes no representations or warranties whatsoever that: (a) the Project will be completed in accordance with the plans for the Project as they exist on the date this Declaration is Recorded; (b) any property subject to this Declaration will be committed to or developed for a particular use or for any use; (c) any property not now subject to this Declaration will be subjected to the provisions hereof; or (d) the use of any property subject to this Declaration will not be changed in the future. In addition, if any guardhouses are constructed within the Project, the Declarant makes no representations or warranties that a guard service will be provided or, if guard service is provided, that it will be provided during any particular hours or be continued in the future. Nothing contained in this Declaration and nothing which may be represented to a purchaser by real estate brokers or salesmen representing the Declarant or any Developer shall be deemed to create any covenants or restrictions, implied or express, with respect to the use of any property subject to this Declaration or any Additional Property that may be hereafter annexed to the Project.

2.5 Maximum Number of Lots. The property described on Exhibit "C" and initially submitted to this Declaration contains 26 single family lots, the number of which the Declarant reserves the right to increase or decrease, subject to any limitations of Utah law, during the Period of Declarant Control. The Declarant may create additional lots within the property and may subdivide any lot into two or more lots, provided however, the Declarant may subdivide a lot owned by someone other than the Declarant only with the consent of such owner. The Declarant may also create additional common areas within the property or convert any of the lots within the property to common area, provided however, the Declarant may convert a lot not owned by the Declarant to common area only with the consent of the owner of such lot.

2.6 Gatehouses, Security Gates and Security Devices. Gatehouses, security gates (manned or unmanned) and/or other security devices designed to limit access and to provide more privacy for Owners and Occupants may be constructed, removed, modified or relocated from time to time within or adjacent to the Project at the sole discretion of the Declarant or the Board of Directors. Each Owner and Occupant, and their families, guests and invitees, acknowledge that any such gatehouse, security gate or other security device may restrict or delay entry into, or access within, the Project by police, fire department, ambulances and other emergency vehicles or personnel. Each Owner and Occupant and their families, guests and invitees agree to assume the risk that any such gatehouse, security gate or other security device will restrict or delay entry into, or access within, the Project by police, fire department, ambulances or other emergency vehicles or personnel. Neither the Declarant, any Declarant Affiliate or the Association nor any director, officer, agent or employee of the Declarant, any Declarant Affiliate or the Association shall be liable to any Owner or Occupant or their families, guests or invitees for any claims or damages resulting, directly or indirectly, from the construction, existence or maintenance of any such guardhouse, security gate or other security device. All present and future Owners of any Lot or any portion of or interest in any Lot, and all present and future Occupants of any Lot or any portion of any Lot, are advised that, notwithstanding anything to the contrary: (a) as to any gatehouse, security gate and/or other security devices shown or depicted on any site plan, site map, conceptual plan, development plan or other drawing, diagram or map, however denominated, (b) contained, stated or depicted in any contract, recorded document, advertising material, promotional material, brochure or other document of any kind or type, or (c) contained, stated or set forth in any representations,

promises or statements of any kind whatsoever, oral or written, by or attributed to any salesman, broker, Owner or Developer, or any officer, director, agent or representative of the Association, or any member of any committee of the Association (including, without limitation, the Architectural Review Committee), or any officer, director, employee, agent or representative of Declarant, or any other Person:

(i) Any such gatehouse, security gate or similar facility currently situated, or planned for construction, or hereafter constructed, across any street or roadway (a) may never be constructed, (b) if constructed may be removed at some future date or dates, (c) if constructed may be relocated at some future date or dates to a site which does not control or limit access to the Property or portions thereof, or (d) if constructed may be modified (including, without limitation, to change the same from a manned facility to an unmanned facility), in all such cases without any notice or liability to or consent of any Owners or Occupants of the Property or any portion thereof or interest in the Property. Declarant makes no representations regarding, and shall have no liability for, the adequacy or degree of security or protection provided by any gatehouse, security gate or other facility constructed as part of the Project.

(ii) Other property along or adjacent to, or otherwise directly or indirectly served by, the roads within the Project, without any notice or liability to or consent of any Owners or Occupants of the Property or any portion thereof (a) guests, employees, invitees, contractors, agents, and service providers of any such public or other similar facility may be given the right to use the roads within the project or portions thereof for pedestrian and vehicular ingress and egress and may be provided with access codes, passkeys, passcards or such other devices, information or authorizations as may be necessary to permit such guests, employees and invitees to pass through any security gate(s), guard gate(s), guard post(s) and the like to use such roads, or applicable portions thereof, for the purpose of providing services to any Lot Owner or the Declarant, and (b) the owner of any applicable portion of the roads within the project may dedicate such portion, or easements or other rights-of-way over and across such portion, to the public (but only with the prior written consent of Declarant, so long as Declarant owns any of the Property, as that term is defined in the Declaration, and thereafter only with the prior written consent of the Association).

2.7 Sewer Services. Sewer services for the Project shall be provided pursuant to contract with Weber County acting as Body Politic and / other publicly owned sewer facility (the "**Sewer District**"), or any successor or assignee of the Sewer District, or any other accessible provider of sewer services selected by the Board. If any Lot within the Project requires sewage ejector pumps or similar facilities to connect to the main sewer lines in the Project, each Owner shall be responsible for the cost of purchasing, installing and maintaining any such equipment required for their Lot and may be responsible for the payment of its portion of government bonds issued in connection with sewer and culinary water services. The specifications and location of all supplementary sewer facilities shall be subject to the review and approval of the Architectural Review Committee, in conjunction with the Sewer Improvement District. It is specifically permitted that bonds be issued by the Sewer District, or other applicable entity, in connection with funding of the cost of any improvements by the Sewer District to portions of the Property and the maintenance and repair thereof and the costs for the payment of such bonds may be added to and become part of the Assessments payable under this Declaration. Maintenance of any portion of the storm water sewer system including, but not limited to retention ponds and retention basins,

which are located within, on or under any portion of the Property, shall be the responsibility of the Association.

2.8 **Water Service.** Culinary water for the Project shall be provided pursuant to an agreement with the Eden Waterworks. Fees associated with providing water to each lot or other property will be borne by the homeowner.

2.9 **Development Plan.** Notwithstanding any other provision of this Declaration to the contrary, the Declarant, without obtaining the consent of any other Owner or Person, shall have the right to make changes or modifications to its development plan with respect to any property owned by the Declarant in any way which the Declarant desires including, but not limited to, changing the density of all or any portion of the property owned by the Declarant or changing the nature or extent of the uses to which such property may be devoted.

2.10 **Utility Indemnity.** Each owner, occupant, guest, and invitee acknowledges that neither the Association, the Board nor the Declarant shall in any way be considered insurers or guarantors of health or safety within the property and neither the Association, the Board nor the Declarant shall be held liable for any personal injury, illness, or other loss or damage arising from the presence of utility lines or utility sub-stations adjacent to, near or on the property. Each owner, occupant, guest, and invitee assumes all risk of personal injury, illness, or other loss or damage arising from the presence of utility lines or utility sub-stations and further acknowledges that neither the Declarant nor the Association have made any representations or warranties, nor has any owner, occupant, guest, or invitee relied upon any representations or warranties, expressed or implied, relative to the condition or impact of utility lines or utility sub-stations.

2.11 **Annexation to Incorporated Area.** During the entire period of Declarant control, the Declarant has the right but not the obligation to annex the property in whole or in part to the any adjacent incorporated area for any reason or purpose without the approval of any Owner or the Association.

2.12 **Additional Covenants and Easements.** During the Period of Declarant Rights, the Declarant may unilaterally subject any portion of the Property to additional covenants and easements, including covenants obligating the Association to maintain and insure such property on behalf of the Owners and obligating such Owners to pay the costs incurred by the Association through Assessments. Such additional covenants and easements shall be set forth in a Supplemental Declaration filed either concurrently with or after the annexation of the subject property, and shall require the consent of the owner of such property, if other than the Declarant. Any such Supplemental Declaration may supplement, create exceptions to, or otherwise modify the terms of this Declaration as it applies to the subject property for such purposes as deemed appropriate in the Declarant's sole discretion, including but not limited to modifications to reflect the different character and intended use of such property.

ARTICLE 3 – LAND USES, PERMITTED USES AND RESTRICTIONS

3.1 **Land Uses.** The Property shall be used exclusively for single family residential homes, along with ancillary uses such as public or private pedestrian, bicycle and jogging trails, public or private parks, and Common Areas, and such limited commercial uses as may be permitted from time to time by the Architectural Review Committee including, but not limited to, the use of a portion of the Property for a model homes. The Architectural Review Committee shall have the authority to make, modify and to enforce standards and restrictions governing the use of the Property in addition to those otherwise contained in this Declaration.

3.2 **Architectural Control**

3.2.1 All Improvements constructed within the Project shall be of new construction, and no intact buildings or other structures shall be moved from other locations to the Project (except for construction and sales trailers or similar facilities approved in advance by the Architectural Review Committee).

3.2.2 No devegetation, excavation, grading, planting or revegetation work shall be performed within the Project without the prior written approval of the Architectural Review Committee.

3.2.3 No Improvement shall be constructed, installed or removed within the Project without the prior written approval of the Architectural Review Committee.

3.2.4 No addition, alteration, repair, change or other work which in any way alters the exterior appearance (including but without limitation, the exterior color scheme) of any property within the Project, or any Improvements located thereon, shall be made or done without the prior written approval of the Architectural Review Committee, nor (except as a prerogative of the Declarant as stipulated under this Declaration) shall any Lot be split, divided or further subdivided in any manner without the prior written approval of the Architectural Review Committee.

3.2.5 Any Owner or other Person desiring approval of the Architectural Review Committee for the construction, installation, addition, alteration, repair, change or replacement of any Improvement which would alter the exterior appearance of his, her or its Lot, Parcel or other portion of the Project, or any Improvements located thereon, shall submit to the Architectural Review Committee a written request for approval specifying in detail the nature and extent of the construction, installation, addition, alteration, repair, change, replacement or other work which such Owner or other Person desires to perform. Any Owner or other Person requesting the approval of the Architectural Review Committee shall also submit to the Architectural Review Committee any additional information, plans and specifications which the Architectural Review Committee may reasonably request. In the event that the Architectural Review Committee fails to approve or disapprove an application for approval within forty-five (45) days after the application, together with all supporting information, plans and specifications required by the Architectural Review Committee Rules or reasonably requested by the Architectural Review Committee, have been submitted to it, approval will not be required and this Section will be deemed to have been complied with by the Owner or other Person who submitted such application for approval.

EXHIBIT A

Description of the Property

EXHIBIT B

Articles of Incorporation of

Trappers Crossing Homeowners Association, Inc.

EXHIBIT C

By-Laws of Trappers Crossing Homeowners Association Inc.

3.2.6 The approval by the Architectural Review Committee of any construction, installation, addition, alteration, repair, change, replacement or other work pursuant to this Section shall not be deemed a waiver of the Architectural Review Committee's right to withhold approval of any similar construction, installation, addition, alteration, repair, change, replacement or other work subsequently submitted for approval.

3.2.7 Upon receipt of approval from the Architectural Review Committee for any construction, installation, addition, alteration, repair, change, replacement or other work, the Owner or other Person who has requested such approval shall proceed to perform, construct or make the installation, addition, alteration, or repair, change or other work approved by the Architectural Review Committee as soon as practicable and shall diligently pursue such work so that it is completed as soon as reasonably practicable and within such time as may be prescribed by the Architectural Review Committee.

3.2.8 Any change, deletion or addition to the plans and specifications approved by the Architectural Review Committee must be approved in writing by the Architectural Review Committee.

3.2.9 The Architectural Review Committee shall have the right to charge a reasonable fee for reviewing requests for approval of any construction, installation, alteration, addition, repair, change, replacement or other work pursuant to this Section, which fee shall be payable at the time the application for approval is submitted to the Architectural Review Committee. Such fee, if established and charged by the Architectural Review Committee, shall be set at such reasonable level as the Architectural Review Committee may estimate will be necessary to defray the reasonable costs and expenses of the Architectural Review Committee in reviewing and evaluating any such request or application, and may include, if the Architectural Review Committee deems it reasonably necessary under the circumstances, an amount to cover the reasonable costs of professional consultation to the Architectural Review Committee by an architect or engineer.

3.2.10 The provisions of this Section do not apply to, and approval of the Architectural Review Committee shall not be required for, any construction, installation, addition, alteration, repair, change, replacement or other work by, or on behalf of, the Declarant.

3.2.11 The Architectural Review Committee Rules shall contain provisions for building pad location requirements and design guidelines, including height limitations, as may be determined by the Architectural Review Committee in its sole discretion.

3.2.12 The approval required of the Architectural Review Committee pursuant to this Section shall be in addition to, and not in lieu of, any approvals or permits which may be required under any federal, state or local law, statute, ordinance, rule or regulation, or under any other Recorded instrument. The Architectural Review Committee may condition its approval of any application, plans or other items submitted to it on delivery to the Architectural Review Committee of evidence satisfactory to the Architectural Review Committee that the Owner or other Person seeking its approval has also made appropriate applications for (and prior to commencing work shall have obtained) any and all such other approvals or permits. The Architectural Review

Committee shall cooperate reasonably with any other approving authorities or entities, provided, however, that the Architectural Review Committee shall not be bound by any approvals, permits or other decisions of any other such approving authority or entity.

3.3 Temporary Occupancy and Temporary Buildings. No trailer, basement of any incomplete building, tent, shack, modular or prefabricated home or structure, garage or barn, and no temporary buildings or structures of any kind, shall be used at any time for a residence, either temporary or permanent. Temporary buildings, trailers or other structures used during the construction of Improvements approved by the Architectural Review Committee shall be removed immediately after the completion of construction, and in no event shall any such buildings, trailers or other structures be maintained or kept on any property for a period in excess of twelve months without the prior written approval of the Architectural Review Committee. No residence house, garage or other structure appurtenant thereto shall be moved upon any Lot from another location. Nothing in this Section 3.3 of this Declaration shall restrict or be applicable to the Golf Course Property.

3.4 Maintenance of Landscaping. Each Owner of a Lot shall properly maintain and keep properly cultivated, and free of trash, weeds and other unsightly material, all shrubs, trees, hedges, grass and plantings of every kind (collectively, 'Landscaping') located on: (a) his, her or its Lot; (b) any public right-of-way or easement area which abuts or adjoins the Owner's Lot and which is located between the boundary line of his Lot and the paved area of any street, sidewalk, bike-path or similar area (unless otherwise directed by the Board); and (c) any non-street public right-of-way or easement area adjacent to his Lot (unless otherwise directed by the Board); provided, however, that such Owner shall not be responsible for maintenance of any area over which: (i) the Association assumes the responsibility in writing; or (ii) Weber County or any other municipality or other governmental agency or entity having jurisdiction over such property assumes responsibility, for so long as Weber County or such other municipality or other governmental agency or entity assumes or has responsibility. For purposes of this Section 3.4 proper maintenance of Landscaping shall include, without limitation, removal and replacement of dead Landscaping, subject to the Architectural Review Committee Rules. Notwithstanding anything to the contrary herein, portions of a Lot or Parcel may be maintained with natural ground cover and growth as permitted by the Architectural Review Committee.

3.5 Nuisances: Construction Activities. No rubbish or debris of any kind shall be placed or permitted to accumulate upon or adjacent to any Lot or other property, and no odors, loud noises or loud music shall be permitted to arise or emit there from (except as provided in Article 10) so as to render any such property or any portion thereof, or activity thereon, unsanitary, unsightly, offensive or detrimental to any other property in the vicinity thereof or to the occupants of such other property. No other nuisance shall be permitted to exist or operate upon or adjacent to any Lot, Parcel or other property so as to be offensive or detrimental to any other property in the vicinity thereof or to its occupants. Normal construction activities and parking in connection with the building of Improvements on a Lot, Parcel or other property shall not be considered a nuisance or otherwise prohibited by this Declaration, but during construction periods, Lots, Parcels and other property shall be kept in a neat and tidy condition, trash and debris shall not be permitted to accumulate, supplies of brick, block, lumber and other building materials shall be piled only in such areas as may be approved in writing by the Architectural Review Committee, and no loud music shall be permitted. In addition, any construction equipment and building materials stored or kept on any Lot, Parcel or other property during the construction of Improvements may be kept only in areas approved in writing by the Architectural Review Committee, which may also require screening of the storage areas.

The Architectural Review Committee in its sole discretion shall have the right to determine the existence of any such nuisance. The provisions of this Section shall not apply to construction activities of the Declarant.

3.6 **Diseases and Insects.** No Person shall permit any thing or condition to exist upon any Lot, Parcel or other property which shall induce, breed or harbor infectious diseases or noxious insects.

3.7 **Repair of Building.** No Residence, building, structure or other Improvement on any Lot, Parcel or other property shall be permitted to fall into disrepair and each such Residence, building, structure and other Improvement shall at all times be kept in good condition and repair and adequately painted or otherwise finished. In the event any Residence, building, structure or other Improvement is damaged or destroyed, then, subject to the approvals required by Section 3.2 such Residence, building, structure or other Improvement shall be immediately repaired or rebuilt or shall be demolished.

3.8 **Antennas, Poles, Towers and Dishes.** No television, radio, shortwave, microwave, satellite, flag or other antenna, pole, tower or dish shall be placed, constructed or maintained upon any Lot, Parcel or other part of the Property unless such antenna, pole, tower or dish is fully and attractively screened or concealed so as not to be Visible From Neighboring Property, which means of screening or concealment shall be subject to the regulation and prior approval of the Architectural Review Committee. Notwithstanding the foregoing, the Architectural Review Committee may adopt a rule or regulation permitting an Owner or Occupant to install and maintain a flagpole upon the Owners or Occupant's Lot or Parcel, provided that the location and size of such flagpole (and the number and size of any flag(s) mounted thereon) may be regulated by the Architectural Review Committee and may, if so provided in such rule or regulation, be made subject to the prior approval thereof by the Architectural Review Committee. Nothing in this Section shall be deemed to prohibit the Declarant from installing and maintaining flagpoles on, at or adjacent to model homes within the Project. Poles to which basketball backboards, goals and related equipment are affixed shall be governed by Section 3.31.

3.9 **Mineral Exploration.** No Lot, Parcel or other property shall be used in any manner to explore for or to remove any water, oil or other hydrocarbons, minerals of any kind, gravel, gas, earth or any earth substance of any kind, except for the drilling, operation and maintenance of any testing, inspection or other water wells approved by the Declarant and no derrick or other structure designed for use in boring for water, oil, or other hydrocarbons or minerals of any kind or nature shall be erected, maintained or permitted on any Lot or Parcel.

3.10 **Trash Containers and Collection.** No garbage or trash shall be placed or kept on any Lot, Parcel or other property except in sanitary, covered containers of a type, size and style which are approved by the Architectural Review Committee. In no event shall such containers be maintained so as to be Visible From Neighboring Property except to make the same available for collection and then only for the shortest time reasonably necessary to effect such collection. All rubbish, trash or garbage shall be removed from Lots, Parcels and other property and shall not be allowed to accumulate thereon. No outdoor incinerators shall be maintained on any Lot, Parcel or other property.

3.11 **Clothes Drying Facilities.** No outside clotheslines or other outside facilities for drying or airing clothes shall be erected, placed or maintained on any Lot, Parcel or other property.

3.12 **Utility Service Appurtenances.** No lines, wires or other devices for the communication or transmission of electric current or power, including telephone, television and radio signals, shall be erected, placed or maintained anywhere in or upon any Lot, Parcel or other property unless the same shall be contained in conduits or cables installed and maintained underground or concealed in, under or on buildings or other structures approved by the Architectural Review Committee. No provision of this Declaration shall be deemed to forbid the erection of temporary power or telephone structures for emergency purposes or incident to the construction of buildings or structures approved by the Architectural Review Committee. Notwithstanding the foregoing, utility meters and related panels and similar equipment may be placed on outside building walls exposed to view from a street in order to comply with any requirements, regulations, orders, conditions or specifications of any public, quasi-public or private utility or any governmental agency or body, provided that reasonable efforts shall be made to avoid placing any such meter, panel or other equipment on the outside front wall of a residence or other building facing the street running directly in front of such residence.

3.13 **Overhead Encroachments.** No tree, shrub or planting of any kind on any Lot, Parcel or other property shall be allowed to overhang or otherwise to encroach upon any sidewalk, street, bicycle path or pedestrian way from ground level to a height of eight (8) feet without the prior approval of the Architectural Review Committee.

3.14 **Health, Safety and Welfare.** In the event additional uses, activities or facilities are deemed by the Board to be a nuisance or to adversely affect the health, safety or welfare of Owners, Lessees and Occupants, the Board may make rules restricting or regulating their presence in the Project as part of the Association Rules or may direct the Architectural Review Committee to make rules governing their presence on Lots, Parcels or other property as part of the Architectural Review Committee Rules.

3.15 **Model Homes.** Any provisions of this Declaration which prohibit non-residential use of Lots and regulate parking of vehicles shall not prohibit the construction and maintenance of model homes or other model Residences of any kind (including, without limitation, any used in whole or in part as sales offices) (collectively, "**Models**") by Persons engaged in the construction of Residences in the Project, or parking incidental to the visiting of such Models, so long as the construction, operation and maintenance of such Models and parking otherwise comply with all of the provisions of this Declaration. The Architectural Review Committee may also permit Lots and other areas to be used for parking in connection with the showing of Models. Any homes or other structures constructed as Models shall cease to be used as Models at any time the Owner thereof is not actively engaged in the construction and sale of Residences in the Project, and no home or other structure shall be used as a Model for the sale of homes or other structures not located in the Project. Neither the provisions of this Section nor the provisions of any other Section of this Declaration shall restrict or prohibit the right of the Declarant or a Declarant Affiliate to construct, operate and maintain Models in the Project.

3.16 **Incidental Uses.** The Architectural Review Committee may approve uses of property within a particular land use which are incidental to the full enjoyment of the Owners and Occupants of the property within that land use. Such approval may be subject to such regulations, limitations and restrictions, including termination of the use, as the Architectural

Review Committee may wish to impose, in its sole discretion, for the benefit of the Project as a whole subject to the provisions of Section 3.17.

3.17 Residential Use and Trades or Businesses. Except as otherwise provided and/or permitted in this Declaration, including, but not limited to, the provisions of Section 3.1, all Lots and Residences shall be used, improved and devoted exclusively to residential use. No trade or business may be conducted on any Lot or in or from any Residence, except that an Owner or other Resident may conduct a business activity in a Residence so long as:

- (a) the existence or operation of the business activity is not apparent or detectable by sight, sound or smell from outside the Residence;
- (b) the business activity conforms to all applicable zoning ordinances or requirements;
- (c) the business activity does not involve the door-to-door solicitation of Owners or other Residents in the Project;
- (d) the use of the Residence for trade or business shall in no way destroy or be incompatible with the residential character of the Residence or the surrounding neighborhood;
- (e) the trade or business shall be conducted only inside the Residence or inside an accessory building or garage, and shall not involve the viewing, purchase or taking delivery of goods or merchandise at, to, from or in any Residence;
- (f) the trade or business shall be conducted by a Resident or Residents of the Residence;
- (g) no more than twenty percent (20%) of the total floor area of the Residence shall be used for trade or business;
- (h) the Residence used for trade or business shall not be used as a storage facility for a business conducted elsewhere;
- (i) the volume of vehicular or pedestrian traffic or parking generated by such trade or business shall not result in congestion or be in excess of what is customary in a residential neighborhood;
- (j) a trade or business shall not utilize flammable liquids or hazardous materials in quantities not customary to a residential use; and
- (k) a trade or business shall not utilize large vehicles not customary to a residential use. The terms "business" and "trade" as used in this Section shall be construed to have ordinary, generally accepted meanings, and shall include, without limitation, any occupation, work or activity undertaken on an ongoing basis which involves the provision of goods or services to persons other than the provider's family and for which the provider receives a fee, compensation or other form of consideration, regardless of whether: (i) such activity is engaged in full or part time; (ii) such activity is intended to or does generate a profit; or (iii) a license is required for such activity. The

leasing of a Residence by the Owner thereof shall not be considered a trade or business within the meaning of this Section; provided, however, that any lease or rental agreement shall have a term of at least thirty (30) days and no Lot, Parcel, or Residence may be leased or rented for less than thirty (30) consecutive days at a time.

3.18 **Animals.** No animal, livestock, poultry or fowl of any kind, other than a reasonable number of house pets (as approved by the Architectural Review Committee), shall be maintained on or in any Lot and then only if they are kept or raised thereon solely as domestic pets and not for commercial purposes. No house pets shall be permitted to make an unreasonable amount of noise or create a nuisance. No structure for the care, housing or confinement of any pet shall be Visible from Neighboring Property. Notwithstanding the foregoing, no pets may be kept on or in any Lot which, in the opinion of the Board, result in an annoyance to other Owners or Occupants in the vicinity. All pets shall be leashed when not on property owned by the pet's owner or on which the pet's owner is a Resident or guest, and persons walking any pet shall promptly and properly remove and dispose of the pet's waste. Notwithstanding anything herein to the contrary, if Additional Property is annexed to the Project, Declarant shall have the unilateral right to create more liberal rules regarding pets and other animals permitted on the Lots of such Additional Property, including, without limitation, the right to keep and use horses.

3.19 **Machinery and Equipment.** No machinery or equipment of any kind shall be placed, operated or maintained upon or adjacent to any Lot, except: (a) such machinery or equipment as is usual and customary in connection with the use, maintenance or construction (during the period of construction) of a building, appurtenant structures or other Improvements; and (b) that which Declarant or the Association may permit or require for the development, operation and maintenance of the Project.

3.20 **Signs.** No signs whatsoever (including, but not limited to commercial, political, "for rent" and similar signs) which are Visible from Neighboring Property shall be erected or maintained on any Lot:

3.20.1 Signs required by legal proceedings.

3.20.2 Residence identification signs provided the size, color, content and location of such signs have been approved in writing by the Architectural Review Committee.

3.20.3 Signs of Developers approved from time to time by the Architectural Review Committee as to number, size, color, design, message content, location and type.

3.20.4 Such construction job identification signs and subdivision identification signs which are in conformance with the requirements of Weber County or any municipality having jurisdiction over the property and which have been approved in writing by the Architectural Review Committee as to number, size, color, design, message content and location.

3.21 **Required Approvals for Further Property Restrictions.**

3.21.1 All proposed site plans and subdivision plats for any Lot or Parcel, or any portion thereof, must be approved in writing by the Architectural Review Committee prior to Recordation thereof or commencement of construction on the applicable Lot or Parcel. No Lot, or portion thereof, shall be further subdivided, no lot lines or boundaries may be modified, and no portion less than all of any such Lot, or any easement or other interest therein, shall be conveyed or transferred by any Owner without the prior written approval of the Architectural Review Committee.

3.21.2 No further covenants, conditions, restrictions, or easements shall be Recorded against any Lot or Parcel, or portion thereof, without the prior written approval of the Architectural Review Committee except as provided for during the Declarant Control Period.

3.21.3 No applications for rezoning, variances or use permits, or for waivers of or modifications to existing variances, use permits, zoning stipulations or similar restrictions, shall be filed with any governmental authority or agency without the prior written approval of the Architectural Review Committee, and then only if such proposed zoning, variance or use, or waiver or modification, is in compliance with this Declaration.

3.21.4 No subdivision plat, easement, declaration of further covenants, conditions, restrictions or easements or other instrument which is to be Recorded and which is required by this Section 3.21 to be approved by the Architectural Review Committee shall be effective unless the required approval is evidenced on such instrument by the signature of an authorized representative of the Architectural Review Committee.

3.21.5 No site plan, subdivision plat, or further covenants, conditions, restrictions or easements, and no application for rezoning, variances or use permits shall be submitted to Weber County or any other governmental authority or agency unless the same has first been approved in writing by the Architectural Review Committee as provided in this Section 3.21. Further, no changes or modifications shall be made in any such documents, instruments or applications once the same have been approved by the Architectural Review Committee hereunder unless such changes or modifications have first been approved by the Architectural Review Committee in writing.

3.21.6 Notwithstanding the foregoing, neither the Declarant nor any Declarant Affiliate shall be required to seek or obtain any of the approvals or consents otherwise required under this Section 3.21 as to any Lot or Parcel, or any portion of either, of which the Declarant or any Declarant Affiliate is the Owner.

3.22 **Vehicles.** In general, all Vehicles (as defined below) must be parked, kept, maintained, stored, constructed, reconstructed or repaired only within a fully-enclosed garage approved by the Architectural Review Committee pursuant to Section 3.2. For purposes of this Section, the term "Vehicles" includes cars, trucks and vans of all sizes, motorcycles, motorbikes, mopeds, mini-bikes, motor scooters, all-terrain vehicles, off-road vehicles, motor homes, recreational vehicles, trailers, travel trailers, tent trailers, camper shells, detached campers, boats, boat trailers, mobile homes, or other similar machinery or equipment, whether motorized or not, whether wheeled or not and whether or not in operating condition. Notwithstanding the foregoing: (a) up to one car, van or truck having a capacity of one ton or less may occasionally be parked on driveways or other improved parking areas on a Lot or Parcel so long as the same

are in operating condition and are regularly used for transportation of passengers; (b) additional cars, vans or trucks having a capacity of one ton or less may be parked from time to time on driveways or other improved parking areas on a Lot or Parcel to accommodate visitors or guests of the Owner or Occupant of that Lot or Parcel (provided that the Architectural Review Committee may adopt rules or regulations relating to the number or frequency of guest or visitor vehicle parking, if it determines, in its discretion, that such rules or regulations are necessary); (c) service, repair or delivery vehicles may be parked on a Lot or Parcel, but only for the period reasonably required to effect the needed service, repair or delivery; and (d) a temporary construction trailer may be placed and maintained on a Lot or Parcel in connection with construction of Improvements on that Lot or Parcel, but only if that temporary construction trailer, its location on the Lot or Parcel and the period during which it will be permitted to remain on the Lot or Parcel are approved in writing by the Architectural Review Committee. Except for emergency repairs, no Vehicle shall be repaired, constructed or reconstructed on the Property except within a fully-enclosed garage. No Vehicle shall be parked on any roadway or street within or adjacent to the Property, except for temporary parking (not exceeding 24 hours) of Vehicles of an Owner's or Occupant's guests.

3.23 Towing of Vehicles. The Board has the right, without notice, to have any Vehicle which is parked, kept, maintained, constructed, reconstructed or repaired in violation of the Project Documents towed away at the sole cost and expense of the owner of the Vehicle. Any expense incurred by the Association in connection with the towing of any Vehicle must be paid to the Association upon demand by the owner of the Vehicle. If the Vehicle is owned by an Owner or Occupant, any amounts payable to the Association will be secured by the Assessment Lien against that Owner's or Occupant's Lot, and the Association may enforce collection of those amounts in the same manner provided for in this Declaration for the collection of Assessments.

3.24 Snow Removal. The Association shall be responsible for removal of snow from all streets and roads within the Project. Each Owner shall be responsible for removal of snow from the driveway and sidewalks on such Owner's Lot. If an Owner elects to hire a contractor to perform some or all of such Owner's snow removal duties under this Section, such Owner must use the contractor then used by the Association for snow removal, so as to reduce the number of snow removal vehicles within the Project and thereby promote coordination and safety within the Project.

3.25 Variances. The Architectural Review Committee may, at its option and in extenuating circumstances, grant variances from the restrictions set forth in this Article 3 if the Architectural Review Committee determines in its discretion that: (a) a restriction would create an unreasonable hardship or burden on an Owner or Occupant or a change of circumstances since the recordation of this Declaration had rendered such restriction obsolete; and (b) the activity permitted under the variance will not have any substantial adverse effect on Owners and Occupants, in the sole discretion of the Architectural Review Committee, and is consistent with the high quality of life intended for residents of the Project.

3.26 Change of Use of Common Areas. Upon: (a) adoption of a resolution by the Board stating that in the Board's opinion the then present use of a designated part of the Common Areas is no longer in the best interests of the Owners; and (b) the approval of such resolution by Association Members casting more than fifty percent (50%) of the votes entitled to be cast by Association Members who are present in person or by proxy at a meeting duly called for such purpose and who are entitled to use such Common Areas under the terms of this

Declaration, the Board shall have the power and right to change the use thereof (and in connection therewith, construct, reconstruct, alter or change the buildings, structures and improvements thereon in any manner deemed necessary by the Board to accommodate the new use), provided such new use shall be consistent with any zoning regulations restricting or limiting the use of the Common Areas. This Section 3.26 shall not apply to, or be deemed to limit in any way, the right and power of the Association pursuant to Section 4.1.1(a) to grant easements over, under or through portions of the Common Areas, or to dedicate portions of the Common Areas, to public, quasi-public or private utility companies, municipalities or other governmental agencies or entities, in connection with or at the time of development of property within or adjacent to the Project, where required or requested by any municipality or other governmental agency or entity, or any public, quasi-public or private utility company.

3.27 **Drainage.** No Residence, structure, building, landscaping, fence, wall or other Improvement shall be constructed, installed, placed or maintained in any manner that would obstruct, interfere with or change the direction or flow of water in accordance with the drainage plans for the Project, or any part thereof, or for any Lot or Parcel as shown on the drainage plans on file with the county or municipality in which the Project is located.

3.28 **Garages.** The interior of all garages shall be maintained in a neat, clean and slightly condition. Garages shall be used only for parking vehicles and storage, and shall not be used or converted for living or recreational activities. Garage doors shall be kept closed at all times except to the limited extent reasonably necessary to permit the entry or exit of vehicles or persons.

3.29 **Trails.** Declarant reserves for itself, its successors and assigns, and the Association the right to designate certain areas within the Property, including the Common Area, to be used as recreational bike and pedestrian pathways and trails ("trail system"). Each Owner acknowledges, understands and covenants to inform the occupants of such Owner's Lot that the Property may contain a trail system and that there may be certain inconveniences and loss of privacy associated with the ownership of Lots adjacent to such trail system resulting from the use of the trail system by the Declarant, the Association, its Members, their tenants, occupants, guests and invitees.

3.30 **Rooftop HVAC Equipment Prohibited.** No heating, ventilating, air conditioning or evaporative cooling units or appurtenant equipment may be mounted, installed or maintained on the roof of any Residence or other building.

3.31 **Solar Collecting Panels or Devices.** The Declarant recognizes the benefits to be gained by permitting the use of solar energy as an alternative source of electrical power for residential use. At the same time, the Declarant desires to promote and preserve the attractive appearance of the Property and the Improvements thereon, thereby protecting the value generally of the Property and the various portions thereof, and of the various Owners' respective investments therein. Therefore, subject to prior approval of the plans therefore by the Architectural Review Committee, solar collecting panels and other active solar devices may be placed, constructed or maintained upon any Lot within the Property so long as such solar collecting panels and devices are placed, constructed and maintained in such location(s) and with such means of screening or concealment as the Architectural Review Committee may reasonably deem appropriate to limit, to the extent possible, the visual impact of such solar collecting panels and devices when viewed from any street or from any other property (whether within or outside the Property).

3.32 **Basketball Goals or Play Structures.** No basketball goal, backboard or similar structure or device, and no swing sets or other play structures, shall be placed or constructed on any Lot without the prior written approval of the Architectural Review Committee (including, without limitation, approval as to appearance and location).

3.33 **Tanks.** No tanks of any kind (including tanks for the storage of fuel) shall be erected, placed or maintained on any Lot or Parcel.

3.34 **Exterior Lighting.** Exterior lighting shall be permitted on a Lot or Parcel in accordance with the Architectural Review Committee Rules.

3.35 **View Impairment.** Neither the Declarant nor the Association guarantees or represents that any view from Lots over and across the Common Area, including any water bodies, will be preserved without impairment. The Association shall have no obligation to prune or thin trees or other landscaping, and shall have the right, in its sole discretion, to add trees and other landscaping or to install improvements or barriers (both natural and artificial) to the Common Area from time to time. Any such additions or changes may diminish or obstruct any view from the Lots and any express or implied easements for view purposes or for the passage of light and air are hereby expressly disclaimed. Each Owner, by acceptance of a deed, acknowledges that any view from the Lot as of the date of the purchase of the Lot may be impaired or obstructed by the natural growth of existing landscaping, the installation of additional trees, other landscaping or other types of improvements or barriers (both natural and artificial) on the Common Area.

3.36 **Wildlife Management.** Each Owner and occupant, and each tenant, guest and invitee of any Owner or occupant acknowledges that the Property is located adjacent to and in the vicinity of natural areas. Such areas may contain wildlife. Neither the Association, the Board, the Declarant, nor any successor Declarant shall be liable or responsible for any personal injury, illness or any other loss or damage caused by the presence of such wildlife on the Property. Each Owner and occupant of a Lot and each tenant, guest, and invitee of any Owner or occupant shall assume all risk of personal injury, illness or other loss or damage arising from the presence of such wildlife and further acknowledges that the Association, the Board, the Declarant or any successor Declarant have made no representations or warranties, expressed or implied, relative to the present of such wildlife. The Declarant, acting in its sole and absolute discretion, retains the right, but not the obligation, to engage in wildlife management plans and practices on the Property to the extent that such practices are permitted by applicable state and federal law. The Declarant may, in its sole discretion, commission environmental studies and reports relating to the Property and the wildlife habitats located thereon, and may elect to follow or disregard any recommendations resulting from such studies. The Declarant may assign these management rights to the Association, in which even the expense of such activities shall be funded by General Assessments.

3.37 **Declarant's Exemption.** Nothing contained in this Declaration shall be construed to prevent the construction, installation or maintenance by the Declarant, any Declarant Affiliate or any agents or contractors thereof, during the period of development, construction and sales on the Property, of Improvements, landscaping or signs deemed necessary or convenient by the Declarant, in Declarant's sole discretion, to the development or sale of property within the Property.

ARTICLE 4 – EASEMENTS

4.1 Owners Easements of Enjoyment

4.1.1 Subject to the rights and easements granted to the Declarant in Section 4.4 each Owner, and each Occupant of such Owner's Lot, shall have a non-exclusive right and easement of enjoyment in, to and over the Common Areas as shown on the plats of the Development if and when filed with the County, which right and easement shall be appurtenant to and shall pass with the title to each Lot, subject to the provisions of this Declaration including, without limitation, the following:

- (a) Except as otherwise provided in this Declaration, no dedication, transfer, mortgage or encumbrance of all or any portion of the Common Areas shall be effective unless approved by Owners representing two-thirds (2/3) of the votes in each class of Association Members. Notwithstanding the preceding sentence or any other provision of this Declaration to the contrary, the Association shall have the right, without the consent of the Owners or any other Person (except Declarant, whose consent shall be required so long as Declarant owns any part of the Property or of the Additional Property, if any), to dedicate portions of the Common Areas to the public, or grant easements over, under or through portions of the Common Areas to the public, to any municipal or other governmental agency or entity, or to any public, quasi-public or private utility company, for use as right-of-way, for utilities, for public landscape purposes and the like, as may be required or requested by Weber County or any municipal or other governmental agency or entity having jurisdiction, or by a public, quasi-public or private utility company, in connection with or at the time of the development of portions of the Property or of portions of the Additional Property.
- (b) The Association shall have the right to regulate the use of the Common Areas through the Association Rules (which may include, without limitation, the adoption and implementation of a reservation system for such portions of the Common Areas, or Improvements or amenities thereon, as the Board deems appropriate) and to prohibit access to such portions of the Common Areas, such as landscaped right-of-ways, not intended for use by the Owners, Lessees or other Occupants.
- (c) The Declarant and the Association shall each have the right to grant easements or licenses to Developers or other Persons for the construction of Improvements on the Common Areas, and the Declarant and the Association shall each have the right to grant ingress and egress easements over the streets and roads in the Project to Persons who are not Members of the Association.
- (d) The Declarant and the Association shall each have the right to convey certain portions of the Common Areas to Owners of adjoining Lots or Parcels in connection with the correction or adjustment of any boundary between Common Areas and any one or more adjoining Lots or Parcels; provided, however, that neither the Association nor the Declarant shall have the right to transfer or convey any portion of the Common Areas upon which is situated any recreational facility unless approved by a vote of the Association Members pursuant to Section 4.1.1(a).

(e) The Association shall have the right to charge special use fees ("**Special Use Fees**") for the use of the Common Areas. The Special Use Fees, if any, shall be set by the Board from time to time, in its discretion. Special Use Fees shall be charged only for actual entry upon or use of those portions of the Common Areas, if any, selected by the Board to be subject to a Special Use Fee, and shall be imposed only where the Board deems it appropriate to collect revenue from the actual users of such selected portions of the Common Areas so that all of the costs of operating such selected portions of the Common Areas are not borne by all of the Owners through Annual Assessments, but rather are borne, at least in part, by the Owners, Occupants and other Persons using such selected portions of the Common Areas.

(f) The Association shall have the right to suspend the rights of any Owner or Occupant to use and enjoy recreational facilities on the Common Areas: (a) for any period during which an Assessment remains delinquent; (b) for a period not to exceed 60 days for any infraction of the Project Documents; or (c) for successive 60-day periods if any such infraction is not corrected during any preceding suspension period.

4.1.2 If a Lot is leased or rented by its Owner, the Occupants of such Lot shall have the right to use the Common Areas during the term of the lease, and the Owner of such Lot shall have no right to use the Common Areas until the termination or expiration of such lease.

4.1.3 The Board shall have the right to limit the number of guests and invitees who may use the recreational facilities located on the Common Areas at any one time and may restrict the use of the recreational facilities by guests and invitees to certain specified events and times.

4.2 **Utility Easement.** There is hereby created an easement upon, across, over and under the Common Areas, Lots, Parcels and other property for reasonable ingress, egress, installation, replacement, repair or maintenance of all utilities, including, but not limited to, gas, water (including wells), sewer, telephone, cable television and electricity. By virtue of this easement, it shall be expressly permissible for the Declarant, the Association, and/or the providing utility company to install and maintain the necessary equipment on the Common Areas, Lots, Parcels and other property but no sewers, electrical lines, water lines or other utility or service lines may be installed or located on the Common Areas, Lots, Parcels and other property except as initially designed, approved and/or constructed by the Declarant or as approved by the Board (and, in the case of a Lot or Parcel, by the Owner of such Lot or Parcel). If any utility company requests that a more specific easement be granted in its favor in substitution for the blanket easement hereby established with respect to the Common Areas, the Association shall have the power and authority, without the need for any consent by the Owners or any other Person, to grant the more specific easement on such terms and conditions as the Board deems appropriate.

4.3 **Easements for Ingress and Egress.** There are hereby created easements for ingress and egress for pedestrian traffic over, through and across sidewalks, paths, walks and lanes that from time to time may exist upon the Common Areas. There is also created an easement for ingress and egress for pedestrian and vehicular traffic over, through and across such driveways and parking areas as from time to time may be paved and intended for such

purposes. Such easements shall run in favor of and be for the benefit of the Owners and Occupants of the Lots and Parcels and their guests, families, tenants and invitees. Further, certain pathways or trails around and/or through the Property may be developed and maintained from time to time as part of hiking and/or bicycling trail systems serving the public in addition to Owners and Occupants; in such instances, members of the public shall also have the right to use such trails for the purposes for which they are developed and maintained, subject to reasonable, non discriminatory rules and regulations as the Board may adopt from time to time and subject to applicable requirements and regulations of Weber County and any other governmental body or agency having jurisdiction. There is also hereby created an easement upon, across and over the Common Areas and all private streets, private roadways, private driveways and private parking areas within the Project for vehicular and pedestrian ingress and egress for police, fire, medical and other emergency vehicles and personnel. The Board shall have the right to relocate and/or reconfigure any and all such easements from time to time as it sees fit without the consent of any Owners (but subject to any necessary approvals of Weber County or any other governmental body or agency having jurisdiction thereover including in particular, but without limitation, the easements granted herein for police, fire, medical and other emergency vehicles and personnel).

Declarant hereby reserves, creates, establishes, promulgates and declares perpetual, non-exclusive easements for itself, its successors, assigns and designees, the Association and the Owners, over and across any areas designated as "walking or biking trails" or "paths" on any recorded subdivision plat of the Property regardless of whether such trails or paths are located on Lots or Common Area. Use of such walking trails or paths shall be governed by reasonable rules and regulations promulgated by the Association and those rights set forth in this Declaration.

4.4 Declarants Use and Easements

4.4.1 The Declarant shall have the right and an easement (which, in its discretion, it may delegate to and/or share with one or more Developers, upon and subject to such terms and conditions as the Declarant may deem appropriate) to maintain sales or leasing offices, management offices and models throughout the Project and to maintain one or more advertising signs on the Common Areas with respect to the sales of Lots, Parcels or other property in the Project or within any of the Additional Property. The Declarant reserves the right (which, in its discretion, it may delegate to and/or share with one or more Developers, upon and subject to such terms and conditions as the Declarant may deem appropriate) to place models, management offices and sales and leasing offices on any Lots, Parcels or other property owned by the Declarant (or by such Developer(s), as applicable) and on any portion of the Common Areas in such number, of such size and in such locations as the Declarant deems appropriate.

4.4.2 So long as the Declarant is marketing Lots or other portions of the Property or the Additional Property, if any, the Declarant shall have the right to restrict the use of the parking spaces on the Common Areas. Such right shall include reserving such spaces for use by prospective Purchasers, Declarants employees and others engaged in sales, leasing, maintenance, construction or management activities.

4.4.3 The Declarant shall have the right and an easement on and over the Common Areas to construct all Improvements the Declarant may deem necessary and

to use the Common Areas and any Lots, Parcels and other property owned by the Declarant for construction or renovation related purposes including the storage of tools, machinery, equipment, building materials, appliances, supplies and fixtures, and the performance of work respecting the Project and property adjacent to the Project.

4.4.4 The Declarant shall have the right and an easement upon, over and through the Common Areas as may be reasonably necessary for the purpose of exercising the rights granted to or reserved by the Declarant in this Declaration.

4.5 **Easement in Favor of Association.** The Lots and Common Areas are hereby made subject to the following easements in favor of the Association and its directors, officers, agents, employees and independent contractors:

4.5.1 For inspection during reasonable hours of the Lots and Common Areas in order to verify the performance by Owners or other Persons of all items of maintenance and repair for which they are responsible;

4.5.2 For inspection, maintenance, repair and replacement of portions of the Common Areas accessible only from such Lots;

4.5.3 For correction of emergency conditions on one or more Lots or on portions of the Common Areas accessible only from such Lots;

4.5.4 For the purpose of enabling the Association, the Board, the Architectural Review Committee or any other committees appointed by the Board to exercise and discharge during reasonable hours their respective rights, powers and duties under the Project Documents;

4.5.5 For inspection during reasonable hours of the Lots in order to verify that the Owners and Occupants, and their guests, tenants and invitees, are complying with the provisions of the Project Documents.

4.6 **Easement for Slope Control, Drainage and Waterway Maintenance.** Declarant reserves creates, establishes, promulgate and declares non-exclusive, perpetual, appurtenant easements, for itself, the owner of any Private Amenity and the Association, and their respective representatives, successors and assigns, contractors and agents, over, across, under, through and upon each Lot for the purposes of:

- (a) controlling soil erosion, including grading and planting with vegetation any areas of any Lot which are or may be subject to soil erosion;
- (b) drainage of natural or man-made water flow and water areas from any portion of the Property or any Private Amenity;
- (c) changing, modifying or altering the natural flow of water, water courses or waterways on or adjacent to any Lot or Common Area;
- (d) dredging, enlarging, reducing or maintaining any water areas or waterways within the Property; and

(e) installing such pipes, lines, conduits or other equipment as may be necessary for slope control, drainage and waterway maintenance of any portion of the Property or any Private Amenity.

4.7 **Dedication of or Grant of Easements on Common Areas.** The Association may dedicate or grant easements across portions of the Common Areas to Weber County, Utah, or to any other local, state, or federal governmental or quasi-governmental entity, or to any public or private utility company.

ARTICLE 5 – THE ASSOCIATION; ORGANIZATION; ASSOCIATION MEMBERSHIP AND VOTING RIGHTS

5.1 **Formation of Association.** The Association shall be a nonprofit Utah corporation charged with the duties and vested with the powers prescribed by law and set forth in the Articles, the By-Laws and this Declaration. In the event of any conflict or inconsistency between this Declaration and/or the Articles, By-Laws, Association Rules or Architectural Review Committee Rules, this Declaration shall control. In the case of an inconsistency or conflict between this Declaration and the Utah Uniform Common Interest Ownership Act, the Act shall control.

5.2 **Governing Board and Officers.** The affairs of the Association shall be conducted by the Board of Directors (the "**Board**") and such officers as the Board may elect or appoint in accordance with the Articles and the By-Laws. Unless the Project Documents specifically require the vote or written consent of the Association Members, approvals or actions to be given or taken by the Association shall be valid if given or taken by the Board. The Board may appoint various committees at its discretion. The Board may also appoint or engage a property manager to be responsible for the day-to-day operation of the Association and the Common Areas. The Board shall determine the compensation to be paid to any such manager.

5.3 **Association Rules.** The Board may, from time to time, and subject to the provisions of this Declaration, adopt, amend and repeal rules and regulations pertaining to: (a) the management, operation and use of the Common Areas including, but not limited to, any recreational facilities situated upon the Common Areas; (b) traffic and parking restrictions including speed limits on private streets within the Project; (c) minimum standards for any maintenance of Common Areas, Lots and Parcels within the Project; and (d) any other subject within the jurisdiction of the Association. In the event of any conflict or inconsistency between the provisions of this Declaration and the Association Rules, the provisions of this Declaration shall prevail.

5.4 **No Personal Liability.** No member of the Board, the Architectural Review Committee or any other committee of the Association, no officer of the Association and no manager or other employee of the Association shall be personally liable to any Association Member, or to any other Person including the Association, for any damage, loss or prejudice suffered or claimed on account of any act, omission, error or negligence of the Association, the Board or any member thereof, the Architectural Review Committee or any member thereof, the manager, any representative or employee of the Association, any officer of the Association or any member of any other committee of the Association; provided, however, the limitations set forth in this Section shall not apply to any person who has engaged in intentional misconduct.

5.5 **Implied Rights.** The Association may exercise any right or privilege given to the Association expressly by the Project Documents and every other right or privilege reasonably to be implied from the existence of any right or privilege given to the Association by the Project Documents or reasonably necessary to effectuate any such right or privilege.

5.6 **Membership in the Association.** Every Owner of a Lot which is Assessable Property shall be an Association Member, and the Declarant shall be an Association Member so long as it owns any part of the Project or of the Additional Property, if any, (unless and until the Declarant expressly relinquishes in writing its status as an Association Member). There shall be

one (1) Association Membership for each Lot, which Association Membership shall be held jointly by all Owners of that Lot.

5.7 Votes in the Association.

5.7.1 There shall be one (1) vote to each Lot.

5.7.2 Until the expiration or termination of the Period of Declarant Control: (a) the Association shall be deemed to have two classes of Association Members, Class A and Class B; (b) the Declarant shall be the Class B Association Member, and all votes held by the Declarant shall be Class B votes; (c) all Owners other than Declarant shall be Class A Association Members, and all votes held by such Owners shall be Class A votes. Following expiration or termination of the Period of Declarant Control, the Association shall be deemed to have a single class of Association Members and votes. During the Period of Declarant Control, all matters coming before the Association for vote shall be decided by the vote of the Declarant as the sole Class B Association Member. Following the Period of Declarant Control, all Class B Association Memberships and all Class B votes shall cease to exist, and any issue put to a vote at a duly called meeting of Association Members at which a quorum is present shall be decided by a simple majority of all votes represented in person or by valid proxy at such meeting.

5.7.3 Declarant may, by Supplemental Declaration, create additional classes of membership for the owners of Lots within any Additional Property made subject to this Declaration pursuant to Article 2, with such rights, privileges and obligations as may be specified in such Supplemental Declaration, in recognition of the different character and intended use of the property subject to such Supplemental Declaration.

5.8 **Voting Procedures.** A change in the ownership of a Lot shall be effective for voting purposes from the time the deed or other instrument effecting such change is Recorded; the Board shall thereafter be given written notice of such change and provided satisfactory evidence thereof. The vote for each Lot must be cast as a unit, and fractional votes shall not be allowed. In the event that a Lot is owned by more than one Person and such Owners are unable to agree among themselves as to how their vote or votes shall be cast, they shall lose their right to vote on the matter in question. If any Association Member casts a vote representing a certain Lot, it will thereafter be conclusively presumed for all purposes that he, she or it was acting with the authority and consent of all other Owners of the same Lot unless objection thereto is made at the time the vote is cast. In the event more than one Owner attempts to cast the vote or votes for a particular Lot, the vote or votes for that Lot shall be deemed void and shall not be counted.

5.9 **Transfer of Association Membership.** The rights and obligations of any Association Member other than the Declarant shall not be assigned, transferred, pledged, conveyed or alienated in any way except upon transfer of ownership of an Owner's Lot, and then only to the transferee of ownership of the Lot. A transfer of ownership of a Lot may be effected by deed, intestate succession, testamentary disposition, foreclosure or such other legal process as is now in effect or as may hereafter be established under or pursuant to applicable law. Any attempt to make a prohibited transfer shall be void. Each Purchaser of a Lot shall notify the Association of his, her or its purchase of a Lot. The Association may require the Purchaser of a Lot to pay to the Association a transfer fee in an amount to be set by the Board, and the transfer fee shall be secured by the Assessment Lien.

5.10 Architectural Review Committee

5.10.1 The Association shall have an Architectural Review Committee (the "**Architectural Review Committee**") to perform the functions assigned to it as set forth in this Declaration. So long as the Declarant owns any Lot, Parcel or other property within the Project, or any portion of the Additional Property, the Architectural Review Committee shall consist of three (3) regular members and one (1) alternate member, each of whom shall be appointed by, and serve at the sole discretion of, the Declarant. At such time as the Declarant no longer owns any Lot, Parcel or other property within the Project, or any portion of the Additional Property, the Architectural Review Committee shall consist of such number of regular and alternate members as the Board may deem appropriate from time to time (but in no event less than three (3) nor more than seven (7) regular members, nor less than one (1) nor more than three (3) alternate members), each of whom shall be appointed by, and serve at the pleasure of, the Board. The Declarant may at any time voluntarily surrender in writing its right, as the Declarant, to appoint and remove the members of the Architectural Review Committee pursuant to this Section 5.10.1 and in that event the Declarant may require, for so long as the Declarant owns any Lot, Parcel or other property within the Project, or any portion of the Additional Property, if any, that specified actions of the Architectural Review Committee, as described in a Recorded instrument executed by the Declarant, be approved by the Declarant before they become effective.

5.10.2 The Architectural Review Committee shall promulgate architectural design guidelines and standards, including, but not limited to construction material, color palettes and plant materials to be used in rendering its decisions. The decision of the Architectural Review Committee shall be final on all matters submitted to it pursuant to this Declaration. As provided in Section 3.2.9 the Architectural Review Committee may establish a reasonable fee to defer the costs of considering any requests for approvals submitted to the Architectural Review Committee, which fee shall be paid at the time the request for approval is submitted. In the event of any conflict between this Declaration and any design guidelines adopted by the Architectural Review Committee, this Declaration shall control.

5.10.3 No member of the Architectural Review Committee shall be personally liable to any Owner, the Association or any other Person for any mistake of judgment or for any other acts or omissions of any nature whatsoever (including, without limitation, any mistake in judgment, negligence or nonfeasance) except for willful or intentional misconduct or fraud. The Association shall indemnify and hold harmless the members of the Architectural Review Committee, and their respective heirs and legal representatives, against all contractual and other liabilities to others arising out of: (a) contracts made by the Architectural Review Committee, within the scope of and in the course of performing its duties hereunder; (b) acts or omissions of such members of the Architectural Review Committee; or (c) their status as members of the Architectural Review Committee; provided, however, that such indemnification shall not be applicable where any such contract, act or omission constitutes willful or intentional misconduct or fraud. The foregoing indemnification shall include indemnification against all costs and

expenses (including, but not limited to, reasonable attorneys' fees and disbursements, amounts of judgments paid and settlement amounts) actually and reasonably incurred in connection with the defense of any claim, action, suit or proceeding, whether civil, criminal, administrative or other, in which any such member of the Architectural Review Committee may be involved by virtue of being or having been a member of the Architectural Review Committee; provided, however, that such indemnity shall not be operative with respect to: (i) any matter as to which a member of the Architectural Review Committee shall have finally been adjudged in such action, suit or proceeding to be liable for willful or intentional misconduct or fraud in the performance of his or her duties as such member of the Architectural Review Committee; or (ii) any matter settled or compromised, unless, in the opinion of independent counsel selected by the Board, there is no reasonable ground for such member of the Architectural Review Committee being adjudged liable for willful or intentional misconduct or fraud in the performance of his or her duties as a member of the Architectural Review Committee.

5.10.4 Subject to the provisions of Section 5.10.3 neither the Association, the Board, nor the Architectural Review Committee, nor any of the members of any of them, shall be liable for damages or otherwise to anyone submitting plans and specifications for approval or to any Owner affected by this Declaration by reason of mistake of judgment, negligence or nonfeasance arising out of or in connection with the approval or disapproval or failure to approve or to disapprove any plans and specifications. Further, the design and construction of any improvement shall be the sole responsibility of the Owner and any recommendation, requirement or condition with respect to any plans or specifications or the means or method of construction made by the Architectural Review Committee or any member thereof shall not alter the Owner's responsibility for the safe and proper design and construction of said improvement, nor shall it give rise to any claim by anyone against the Association, the Board or the Architectural Review Committee or any member of any of them for any defect in design or construction of any improvement.

5.11 **Neighborhoods.** Every Lot shall be located within a Neighborhood; provided however, unless and until additional Neighborhoods are established, the Property shall consist of one (1) Neighborhood. The Declarant, in its sole discretion, may establish Neighborhoods within the Property by designation on the Master Plan for the development included as Exhibit ___ to this Declaration, a Supplemental Declaration, a Plat, or Supplemental Plat. During the Period of Declarant Control, the Declarant may unilaterally amend this Declaration, any Supplemental Declaration, or any plat from time to time to assign property to a specific Neighborhood, to redesignate Neighborhood boundaries, or to remove property from a specific Neighborhood.

The Lots within a particular Neighborhood may be subject to additional covenants and/or the Lot Owners may be members of a Neighborhood Association in addition to the Association. However, a Neighborhood Association shall not be required except as required by law. Any Neighborhood, whether or not such Neighborhood has a Neighborhood Association, may, but shall not be obligated to, elect a Neighborhood Committee to represent the interests of Owners of Lots in such Neighborhood. No Neighborhood Association or Neighborhood Committee shall be formed or otherwise established without the prior submission to and written approval of the Declarant of all documents creating or establishing such Neighborhood Association or neighborhood Committee, including without limitation, the submission of any declaration of

condominium, articles of incorporation, by-laws and other organizational and governing documents.

Any Neighborhood may request that the Association provide a higher level of service or special services for the benefit of Lots in such Neighborhood and, upon the affirmative vote, written consent, or a combination thereof, of Owners of a Majority of the Lots within the Neighborhood, the Association may, in its sole discretion, provide the requested services. The cost of such services, which may include a reasonable administrative charge in such amount as the Board deems appropriate (provided any such administrative charge shall apply at a uniform rate per Lot to all Neighborhoods receiving the same service), shall be assessed against the Lots within such Neighborhood as a Neighborhood Assessment pursuant to Article 6 hereof.

5.12 Powers of the Association Relating to Neighborhood Associations. The Association may veto any action taken or contemplated by any Neighborhood Association which the Board reasonably determines to be adverse to the interest of the Association or its Members or inconsistent with the governing Documents. The Association also may require specific action to be taken by any Neighborhood Association to fulfill its obligations and responsibilities under any of the governing Documents. For example, the Association may require that specific maintenance or repairs or aesthetic changes be performed by a Neighborhood Association. If the Neighborhood Association fails to comply with such requirements within a reasonable time as specified in writing by the Association, the Association may effect such action on behalf of the Neighborhood Association and assess the Lots within such Neighborhood for any expenses incurred by the Association in taking such action. Such assessments may be collected as a Specific Assessment.

ARTICLE 6 – COVENANT FOR ASSESSMENTS AND CREATION OF LIEN

6.1 **Creation of Lien and Personal Obligation of Assessments.** The Declarant, for each Lot, hereby covenants and agrees, and each Owner, other than the Declarant, by becoming the Owner of a Lot, is deemed to covenant and agree, to pay Assessments to the Association in accordance with this Declaration. All Assessments shall be established and collected as provided in this Declaration. The Assessments, together with interest, late charges and all costs, including but not limited to reasonable attorneys fees, incurred by the Association in collecting or attempting to collect delinquent Assessments, whether or not suit is filed, shall be a charge on the Lot and shall be a continuing lien upon the Lot against which each such Assessment is made. Each Assessment, together with interest and all costs, including but not limited to reasonable attorneys fees, incurred by the Association in collecting or attempting to collect delinquent Assessments, whether or not suit is filed, shall also be the personal obligation of each Person who was an Owner of the Lot at the time when the Assessment became due. The personal obligation for delinquent Assessments shall not pass to the successors in title of the Owner unless expressly assumed by them (unless title is transferred to one or more such successors for purposes of avoiding payment of any Assessment or is transferred to a Person controlling, controlled by or under common control with the Owner transferring title), but the lien created by this Declaration against the applicable Lot shall continue to secure payment of such delinquent Assessment (including, but not limited to, any and all interests and late charges) until the same are fully paid.

6.2 **Annual Assessment**

6.2.1 In order to provide for the operation and management of the Association and to provide funds for the Association to pay all Common Expenses and to perform its duties and obligations under the Project Documents, including, without limitation, the establishment of reasonable reserves for replacements, maintenance and contingencies, the Board, for each Assessment Period beginning with the fiscal year ending December 31, 2011, shall assess an Annual Assessment against each Lot which is Assessable Property.

6.2.2 Beginning with the 2011 Assessment Period, the Board shall give notice of the Annual Assessment to each Owner at least thirty (30) days prior to the beginning of each Assessment Period, but the failure to give prior notice shall not affect the validity of the Annual Assessment established by the Board nor relieve any Owner from its obligation to pay the Annual Assessment. If the Board determines during any Assessment Period that the funds budgeted for that Assessment Period are, or will become, inadequate to meet all Common Expenses for any reason, including, without limitation, nonpayment of Assessments by Association Members, it may increase the Annual Assessment for that Assessment Period and the revised Annual Assessment shall commence on the date designated by the Board (provided, however, that the total Annual Assessment for such Assessment Period shall not exceed the maximum amount determined pursuant to Section 6.3)

6.3 Rate of Assessment

6.3.1 The amount of the Annual Assessment against each Lot shall be determined as follows:

(a) The term "Association Membership Assessment" shall mean: (i) for the fiscal year ending December 31, 2011, the amount established by the Association based upon its projected budget for the fiscal year divided by the total number of association memberships; (ii) for each subsequent fiscal year, the amount equal to the total budget of the Association for the applicable Assessment Period divided by the total number of Memberships in the Association (subject to Section 6.3.1(b) below).

(b) Except for Lots owned by the Declarant which are exempt from assessment under paragraph (c) of this Section 6.3.1 each Lot shall be assessed an Annual Assessment in an amount equal to the number of Association Memberships attributable to such Lot pursuant to Section 5.6 of this Declaration multiplied by the Association Membership Assessment. Notwithstanding any provision of this Declaration to the contrary, beginning with the fiscal year ending December 31, 2011, the Association Membership Assessment provided for herein shall not for any fiscal year of the Association exceed the Maximum Association Membership Assessment, as determined in accordance with this paragraph (b). Thereafter, unless a greater increase is approved by the affirmative vote of two-thirds (2/3) of the votes of each class of Association Members represented in person or by valid proxy at a meeting of Association Members duly called for such purpose, the Maximum Association Membership Assessment for any fiscal year (the "New Year") shall be equal to the Maximum Association Membership Assessment for the immediately preceding fiscal year (the "Prior Year") increased at a rate equal to the greater of: (i) the percentage increase in the CPI from the Base Month to the Index Month (as each of those terms is defined below); or (ii) ten percent (10%). Nothing herein shall obligate the Board to establish, in any fiscal year, a budget which results in Association Membership Assessments, as calculated pursuant to paragraph (a) above, to be in the full amount of the Maximum Association Membership Assessment for such fiscal year, and the election by the Board not to establish a budget which would result in the Association Membership Assessment, as calculated pursuant to paragraph (a) above, to be in the full amount of the Maximum Association Membership Assessment for any fiscal year shall not prevent the Board from establishing a budget in subsequent fiscal years such that the Association Membership Assessment for such subsequent fiscal year, as calculated pursuant to paragraph (a) above, is in the full amount of the Maximum Association Membership Assessment for such subsequent fiscal year (as determined in accordance with this paragraph (b). For purposes hereof: (x) the term "CPI" means the Consumer Price Index -- All Urban Consumers --All Items (1982-1984 Average = 100 Base) published by the Bureau of Labor Statistics of the U.S. Department of Labor (or its successor governmental agency), or, if such index is no longer published by said Bureau or successor agency, in the index most similar in composition to such index; (y) the term "Index Month" means the month of July immediately prior to the beginning of the New Year; and (z) the term "Base Month" means the month of July immediately prior to the beginning

of the Prior Year; provided, however, that if the Board changes the Assessment Period pursuant to Section 6.5 the Board shall have the right to change the calendar month used for purposes of clauses (y) and (z) (so long as the same calendar month in successive years is used for both clauses).

(c) Notwithstanding any other provision of this Declaration to the contrary, no Annual Assessment shall be levied against Lots owned by the Declarant. During the Period of Declarant Control, the Declarant shall subsidize the Association for the amount by which (i) the cost of operating and administering the Association and maintaining reasonable reserves for maintenance, replacement and repairs and for contingencies exceeds (ii) the total amount of Assessments levied against Lots owned by Owners other than the Declarant. The subsidy required of Declarant under this paragraph (c) may be in the form of cash or in the form of "in-kind" contributions of goods or services, or in any combination of the foregoing, and any subsidies made by Declarant in the form of "in-kind" contributions of goods or services shall be valued at the fair market value of the goods or services contributed. Declarant shall make payments or contributions in respect of its subsidy obligations under this paragraph (c) at such times as the Board may reasonably request from time to time (but shall not be required to make such payments or contributions more often than monthly); at the end of each fiscal year of the Association, either: (1) Declarant shall pay or contribute to the Association such additional funds, goods or services (or any combination thereof) as may be necessary, when added to all other funds, goods and services paid or contributed by Declarant during such fiscal year, to satisfy in full Declarant's subsidy obligations under this paragraph (c) for such fiscal year; or (2) the Association shall pay to Declarant or credit against Declarant's subsidy obligation for the immediately following fiscal year, as Declarant may elect, the amount, if any, by which the total of all payments or contributions paid or made by Declarant during such fiscal year exceeded the total subsidy obligation of Declarant for such fiscal year under this paragraph (c).

6.3.2 For purposes of this Section, construction of a Residence shall be deemed to commence on the earlier of: (a) the date on which the excavation of the basement or foundation footings is completed; or (b) the date on which a building permit for the Residence or other building is issued by Weber County or other applicable governmental authority. For purposes of this Section, a Residence shall be deemed completed when, in the opinion of the Board, it is ready for occupancy.

6.3.3 If the rate of assessment for any Lot changes during any Assessment Period pursuant to the provisions of Section 6.3.1 the Annual Assessment attributable to such Lot shall be prorated between the applicable rates upon the basis of the number of days in the Assessment Period that the Lot or Parcel was assessed under each rate.

6.4 **Special Assessments.** The Association may levy against each Lot which is Assessable Property, in any Assessment Period, a Special Assessment for the purpose of defraying, in whole or in part, the cost of any construction, reconstruction, repair or replacement of Improvements upon the Common Areas, including fixtures and personal property related thereto, provided that any Special Assessment shall have the assent of two-thirds (2/3) of the

votes entitled to be cast by each class of Association Members who are voting in person or by proxy at a meeting duly called for such purpose.

6.5 **Specific Assessment.** The Association shall have the power to levy Specific Assessments against a particular Lot or Lots or Neighborhood Association as follows:

(a) to cover the costs, including overhead and administrative costs, of providing benefits, items, or services to the Lot(s) or occupants thereof upon request of the Owner pursuant to a menu of special services which the Board may from time to time authorize to be offered to Owners and occupants (which might include, without limitation, landscape maintenance, garbage collection, pest control service, cable, digital, satellite or similar television service, Internet, intranet, and other computer related services, security, caretaker, fire protection, utilities, and similar services and facilities), which assessments may be levied in advance of the provision of the requested benefit, item or service as a deposit against charges to be incurred by the Owner;

(b) to cover costs associated with maintenance, repair, replacement and insurance of any Exclusive Common Area assigned to one (1) or more Lots;

(c) to cover all costs incurred in bringing the Lot(s) into compliance with the terms of the governing Documents, or costs incurred as a consequence of the conduct of the Owner or occupants of the Lot, their agents, contractors, employees, licensees, invitees, or guests; and

(d) to cover all costs incurred by the Association to maintain the Lot during the period of time which the Lot does not contain a residence or other required maintenance, including landscape maintenance after completion of a residence.

In addition, fines levied by the Association pursuant to Section 6.7.6 shall constitute Specific Assessments.

The Association may also levy a Specific Assessment against the Lots within any Neighborhood to reimburse the Association for costs incurred in bringing the Neighborhood into compliance with the provisions of this Declaration, any applicable Supplemental Declaration, the Articles, the By-Laws, and the rules and regulations of the Architectural Review Committee; provided however, the Board shall give prior written notice to the Owners of Lots in the Neighborhood and an opportunity for such Owners to be heard before levying any such assessment.

6.6 **Assessment Period.** The period for which the Annual Assessments and Parcel Assessments are to be levied (the "**Assessment Period**") shall be the calendar year. The Board in its sole discretion from time to time may change the Assessment Period.

6.7 **Rules Regarding Billing and Collection Procedures.** Annual and Parcel Assessments shall be collected on a monthly basis or such other basis as may be selected by the Board. Special Assessments may be collected as specified by the Board. The Board shall have the right to adopt rules and regulations setting forth procedures for the purpose of making Assessments and for the billing and collection of the Assessments provided that the procedures are not inconsistent with the provisions of this Declaration. The failure of the Association to send a bill to a Association Member shall not relieve any Association Member of his liability for any

Assessment or charge under this Declaration, but the Assessment Lien therefore shall not be foreclosed or otherwise enforced until the Association Member has been given not less than thirty (30) days written notice prior to such foreclosure or enforcement that the Assessment or any installment thereof is or will be due and of the amount owing. Such notice may be given at any time prior to or after delinquency of such payment. The Association shall be under no duty to refund any payments received by it even though the ownership of a Lot or Parcel changes during an Assessment Period; successor Owners of Lots or Parcels shall be given credit for prepayments, on a prorated basis, made by prior Owners.

6.8 Effect of Nonpayment of Assessments; Remedies of the Association

6.8.1 Any Assessment, or any installment of an Assessment, not paid within thirty (30) days after the Assessment, or the installment of the Assessment, first became due shall bear interest from the due date at the rate established from time to time by the Board. In addition, the Board may establish a late fee to be charged to any Owner who has not paid any Assessment, or any installment of an Assessment, within thirty (30) days after such payment was due.

6.8.2 The Association shall have a lien on each Lot and Parcel for all Assessments levied against the Lot and for all other fees and charges payable to the Association by the Owner of the Lot pursuant to this Declaration. Recording of this Declaration constitutes record notice and perfection of the Assessment Lien. The Association may, at its option, Record a notice of lien setting forth the name of the delinquent Owner as shown in the records of the Association, the legal description or street address of the Lot against which the notice of lien is Recorded and the amount claimed to be past due as of the date of the Recording of the notice, including interest, lien recording fees and reasonable attorneys' fees.

6.8.3 The Assessment Lien shall have priority over all liens or claims except for (a) tax liens for real property taxes; (b) assessments in favor of any municipal or other governmental body or assessment district; and (c) the lien of any First Mortgage.

6.8.4 The Association shall not be obligated to release any Recorded notice of lien until all delinquent Assessments, interest, lien fees, reasonable attorneys' fees, court costs, collection costs and all other sums payable to the Association by the Owner of the Lot have been paid in full.

6.8.5 The Association shall have the right, at its option, to enforce collection of any delinquent Assessments together with interest, lien fees, reasonable attorneys' fees and any other sums due to the Association in any manner allowed by law including, but not limited to: (a) bringing an action at law against the Owner personally obligated to pay the delinquent Assessments and such action may be brought without waiving the Assessment Lien securing the delinquent Assessments; or (b) enforce the Assessment Lien against the applicable Lot by sale or foreclosure conducted in accordance with the provisions of law applicable to the exercise of powers of sale or judicial foreclosure of deeds of trust or mortgages or in any other manner permitted by law. In order to facilitate the foreclosure of any such lien in the manner provided at law for the foreclosure of deeds of trust, the Declarant shall designate a Title Company that is a Utah corporation, and the Declarant shall designate such Title Company as trustee and grants and conveys the Project, IN TRUST, to the said Trustee to act as trustee, with full power of

sale, to foreclose any such liens as directed by the Board. The Board may, at any time, designate one or more successor trustees, in the place of initially designated Title Company, in accordance with provisions of Utah law for the substitution of trustees under deeds of trust. Such trustee, and any successors, shall not have any other right, title or interest in the Project beyond those rights and interests necessary and appropriate to foreclose any liens against Lots arising pursuant hereto. In any such foreclosure, the Owner of the Lot being foreclosed shall be required to pay the costs and expenses of such proceeding (including reasonable attorneys' fees), and such costs and expenses shall be secured by the lien being foreclosed. The Association shall have the power to bid at any foreclosure sale and to purchase, acquire, hold, lease, mortgage and convey any and all Lots purchased at such sale.

6.8.6 Enforcement. The Board or any committee established by the Board, with the Board's approval, may impose sanctions for violation of the Governing Documents after compliance with the notice hearing procedures set forth in the By-Laws. Such sanctions may include, without limitation, the following:

- (a) imposing monetary fines which shall constitute a lien upon the Lot of the violator;
- (b) filing liens in the Public Records for nonpayment of any assessments or fees;
- (c) filing notices of violations in the Public Records providing record notice of any violation of the Governing Documents;
- (d) suspending an Owner's right to vote;
- (e) suspending any Owner's right to use any recreational facilities within the Common Area and any part of the Exclusive Common Area; provided however, nothing herein shall authorize the Board to limit ingress or egress to or from a Lot;
- (f) Suspending any services provided by the Association to an owner or the Owner's Lot if the Owner is more than thirty (30) days delinquent in paying any assessment or other charge owned to the Association; and
- (g) levying Specific Assessments to cover costs incurred in bringing a Lot into compliance with the Governing Documents.

The Association shall have all remedies set forth in this Declaration, the laws of Utah and the laws of the United States to enforce and collect assessments due to it under this Declaration. All remedies set forth in this Declaration and the By-Laws shall be cumulative of any remedies available at law or in equity. In any action or remedy taken by the Association to enforce the provisions of the Governing Documents, if the Association prevails, it shall be entitled to recover all costs, including without limitation, reasonable attorneys fees and court costs incurred in such action, regardless of whether suit is filed and including any appeals.

The Association shall not be obligated to take action to enforce any covenant, restriction or rule which the Board in the exercise of its business judgment determines is, or is likely to be construed as inconsistent with applicable law, or in any case in which the Board reasonably determines that the Association's position is not strong enough to justify taking enforcement action. Any such determination shall not be construed as a waiver of the right of the Association to enforce such provision under any circumstances or prevent the Association from enforcing any other covenant, restriction or rule.

6.9 Evidence of Payment of Assessments. Upon receipt of a written request by a Association Member or any other Person, the Association, within a reasonable period of time thereafter, shall issue to such Association Member or other Person a written certificate stating: (a) that all Assessments, interest and other fees and charges have been paid with respect to any specified Lot as of the date of such certificate; or (b) if all Assessments have not been paid, the amount of such Assessments, interest, fees and charges due and payable as of such date. The Association may make a reasonable charge for the issuance of such certificates, which charges must be paid at the time the request for any such certificate is made. Any such certificate, when duly issued as herein provided, shall be conclusive and binding with respect to any matters therein stated as against any bona fide Purchaser of, or lender on, the Lot in question.

6.10 Purposes for Which Associations Funds May be Used. The Association shall apply all funds and property collected and received by it (including the Assessments, fees, loan proceeds, surplus funds and all funds and property received by it from any other source) for the common good and benefit of the Project and the Owners and Occupants by devoting said funds and property, among other things, to the acquisition, construction, alteration, maintenance, provision and operation, by any manner or method whatsoever, of any and all land, properties, improvements, facilities, services, projects, programs, studies and systems, within or without the Project, which may be necessary, desirable or beneficial to the general common interests of the Project, the Owners and the Occupants, and to the establishment and funding of reasonable reserves for replacements and contingencies. The following are some, but not all, of the areas in which the Association may seek to aid, promote and provide for such common benefit: social interaction among Association Members and Occupants, maintenance of landscaping on Common Areas and public right-of-way and drainage areas within the Project, construction, operation and maintenance of recreational and other facilities on Common Areas, operation, maintenance, replacement and repair of Parcel Assessment Area and Improvements thereon, recreation, insurance, communications, ownership and operation of vehicle storage areas, education, transportation, health, utilities, public services, safety, indemnification of officers, directors and committee members of the Association, employment of professional managers, and hiring professional consultants such as architects, engineers, attorneys and accountants.

6.11 Surplus Funds. The Association shall not be obligated to spend in any year all the Assessments and other sums received by it in such year, and may carry forward as surplus any balances remaining. The Association shall not be obligated to reduce the amount of the Annual Assessment in the succeeding year if a surplus exists from a prior year, and the Association may carry forward from year to year such surplus as the Board in its discretion may determine to be desirable for the greater financial security of the Association and the accomplishment of its purposes.

6.12 Notice and Quorum for Meetings to Consider Special Assessments and Certain Increases in Annual Assessments. Notwithstanding any other provision hereof or of

the Articles, By-Laws or Association Rules, written notice of any meeting called for the purpose of: (a) approving the establishment of any Special Assessment, as required by Section 6.4 hereof or (b) approving any increase in the Maximum Association Membership Assessment greater than that permitted by Section 6.3.1 (shall be sent to all Association Members not less than thirty (30) days nor more than sixty (60) days prior to the date of said meeting. At the first meeting thus called to consider the particular Special Assessment or increase in the Maximum Association Membership Assessment, a quorum shall consist of sixty percent (60%) of the votes in each class of Association Members (whether represented in person or by valid proxy), provided, however, that if a quorum, as so determined, is not present at said first meeting, a second meeting may be called (subject to the same notice requirements as set forth above) to consider the same issue, and a quorum at said second meeting shall be one-half (1/2) of the required quorum at the first meeting, as described above. Such second meeting may not be held more than sixty (60) days after the first meeting.

ARTICLE 7 – MAINTENANCE

7.1 Association Responsibilities.

7.1.1 The Association shall maintain and keep in good condition, order and repair the Area of Common Responsibility, which may include, but need not be limited to, the following:

- (a) all Common Area;
- (b) all landscaping and other flora, parks, water features, structures, and improvements, including any entry features, private streets, parking areas, sidewalks, and bike and pedestrian pathways/trails situated upon the Common Area;
- (c) all furnishings, equipment and other personal property of the Association;
- (d) any landscaping and other flora, parks, bike and pedestrian pathways/trails, sidewalks, buffers, entry features, structures and improvements within public rights-of-way within or abutting the Property or upon such other public land adjacent to the Property as deemed necessary in the discretion of the Board;
- (e) such additional portions of any property included within the Area of Common Responsibility as may be dictated by this Declaration, any Supplemental Declaration, any Cost Sharing Agreement, or any contract or agreement for maintenance thereof entered into by the Association;
- (f) all ponds, lakes, streams and/or wetlands located within the Property which serve as part of the drainage and storm water retention system for the Property, including any retaining walls, bulkheads or dams (earthen or otherwise) retaining water therein, and any fountains, lighting, pumps, conduits, and similar equipment installed therein or used in connection therewith unless such facilities are located within a Private Amenity and are maintained by the owner of the Private Amenity; and
- (g) any property and facilities owned by the Declarant and made available, on a temporary or permanent basis, for the primary use and enjoyment of this Association and its Members, such property and facilities to be identified by written notice from the Declarant to the Association and to remain a part of the Area of Common Responsibility and be maintained by the Association until such time as the Declarant revokes such privilege of use and enjoyment by written notice to the Association.

The Association may, as a Common Expense, maintain other property and improvements which it does not own, including, without limitation, property dedicated to the public, or provide maintenance or services related to such property over and above the level being provided by the property owner, if the Board determines that such

maintenance is necessary or desirable to maintain the requirements of the Architectural Review Guidelines.

7.1.2 The Board shall be the sole judge as to the appropriate maintenance of all Common Areas and other properties maintained by the Association. Any cooperative action necessary or appropriate to the proper maintenance and upkeep of said properties shall be taken by the Board or by its duly delegated representative.

7.1.3 In the event any subdivision plat, deed restriction or this Declaration permits the Board to determine whether or not Owners of certain Lots of Parcels will be responsible for maintenance of certain Common Areas or public right-of-way areas, the Board shall have the sole discretion to determine whether or not it would be in the best interest of the Owners and Occupants for the Association or an individual Owner to be responsible for such maintenance, considering cost, uniformity of appearance, location and other factors deemed relevant by the Board. The Board may cause the Association to contract to provide maintenance service to Owners of Lots and Parcels having such responsibilities in exchange for the payment of such fees as the Association and Owner may agree upon.

7.1.4 Facilities and Equipment. The Association shall maintain the facilities and equipment within the Area of Common Responsibility in continuous operation, except for any periods necessary, as determined in the sole discretion of the Board, to perform required maintenance or repairs, unless Members holding 2/3 of the Class "A" votes in the Association and, during the Period of Declarant Control, the Declarant agree in writing to discontinue such operation.

7.1.5 Relief of Responsibilities. The Association may be relieved of all or any portion of its maintenance responsibilities herein to the extent that (i) such maintenance responsibility is otherwise assumed by or assigned to an Owner or a Neighborhood Association or (ii) such property is dedicated to any local, state, or federal government or quasi-governmental entity; provided however, that in connection with such assumption, assignment or dedication, the Association may reserve or assume the right or obligation to continue to perform all or any portion of its maintenance responsibilities, if the Board determines that such maintenance is necessary or desirable to maintain and achieve the goals of the Design Guidelines and the Project's Master plan.

Except as provided here, the Area of Common Responsibility shall not be reduced by amendment of this Declaration or any other means during the Period of Declarant Control except with the written consent of the Declarant

7.1.6 Common Expenses. Except as otherwise specifically provided herein, all costs associated with maintenance, repair and replacement of the Area of Common Responsibility shall be a Common Expense to be allocated among all Lots as part of the General Assessment, without prejudice to the right of the Association to seek reimbursement from the owner(s) of or other Persons responsible for, certain portions of the Area of Common Responsibility pursuant to the Governing Documents, any recorded covenants, or any agreements with the owner(s) thereof. All costs associated with maintenance, repair and replacement of Exclusive Common Areas shall be a Neighborhood Expense assessed as a Neighborhood Assessment or a Specific Assessment against the particular Lots to which the Exclusive Common Areas are

assigned, notwithstanding that the Association may be responsible for performing such maintenance hereunder. If all Lots within a Neighborhood have similar Exclusive Common Areas, the Association may cumulate such expenses and assess the costs as Neighborhood Assessments against all Lots within such Neighborhood.

7.1.7 Failure to Perform. In the event that the Association fails to properly perform its maintenance responsibilities hereunder and to comply with the Governing Documents including the Design Guidelines, the Declarant may, upon not less than ten (10) days' notice and opportunity to cure such failure, cause such maintenance to be performed and in such event, the Declarant shall be entitled to reimbursement from the Association for all costs incurred.

7.2 Owners' Responsibilities. Each Owner shall maintain his or her Lot, and all structures, parking areas, sprinkler and irrigation systems, landscaping and other flora, and other improvements on the Lot in a manner consistent with the Design Guidelines and the Property Master Plan, as well as all Governing Documents, unless such maintenance responsibility is otherwise assumed by or assigned to the Association or a Neighborhood Association. Each Owner shall also maintain the driveway and mailbox serving his or her Lot and all landscaping located in the right-of-way immediately adjacent to the Owner's Lot. Additionally, each Owner shall be responsible for keeping any storm drain(s) located upon his or her Lot clear of debris. In addition to any other enforcement rights, if an Owner fails properly to perform his or her maintenance responsibility, the Association may perform such maintenance responsibilities and assess all costs incurred by the Association against the Lot and the Owner in accordance with provisions contained in this Declaration. The Association shall afford the Owner reasonable notice and an opportunity to cure the problem prior to entry, except when entry is required due to an emergency situation. Entry under this Section shall not constitute a trespass.

7.3 Neighborhood Responsibilities. Upon resolution of the Board, the Owners of Lots within each Neighborhood shall be responsible for paying, through Neighborhood Assessments, the costs of operating, maintaining and insuring certain portions of the Area of Common Responsibility within or adjacent to such Neighborhood. This may include, without limitation, the costs of maintaining any signage, entry features, rights-of-way and greenspace between the Neighborhood and adjacent public roads, private streets within the Neighborhood, and water bodies within the Neighborhood, regardless of ownership or the Person performing the maintenance; provided however, all Neighborhoods which are similarly situated shall be treated the same.

Any Neighborhood Association having responsibility for maintenance within a particular Neighborhood pursuant to additional covenants applicable to such Neighborhood shall perform such maintenance responsibility in a manner consistent with the Governing Documents. If it fails to do so, the Association may perform such responsibilities and assess the costs as a Specific Assessment against all Lots within such Neighborhood as provided in Section 6.5..

7.4 Party Walls and Similar Structures

7.5.1 General Rules of Law to Apply. In general, walls and fences on a Lot shall be prohibited unless expressly authorized by the Architectural Review Committee. In the event that any walls or fences, driveways or similar structures are built as a part of the original construction on the Lots which serves and/or separates any two (2) adjoining

Lots such structure shall constitute a party structure. To the extent not inconsistent with the provisions of this Section, the general rules of law regarding party walls and liability for property damage due to negligence or willful acts or omissions shall apply thereto.

7.5.2 Sharing of Repair and Maintenance. The cost of reasonable repair and maintenance of a part structure shall be shared equally by the Owners who make use of the party structure.

7.5.3 Damage and Destruction. If a party structure is destroyed or damaged by fire or other casualty, then to the extent that such damage is not covered by insurance and repaired out of the proceeds of insurance, any Owner who has used the structure may restore it. If other Owners thereafter use the structure, they shall contribute to the restoration cost in equal proportions. However, such contribution will not prejudice the right to call for a larger contribution from the other users under any rule of law regarding liability for negligent or willful acts or omissions.

7.5.4 Property Line Walls and Fences. Anything herein notwithstanding, there shall be no common fences or walls along property lines.

7.5.5 Right to contribution Runs with Land. The right of any Owner to contribution from any other Owner under this Section shall be appurtenant to the land and shall pass to such Owner's successors-in-title.

ARTICLE 8 – INSURANCE

8.1 **Scope of Coverage.** Commencing not later than the time of the first conveyance of a Lot to a Purchaser, the Association shall maintain, to the extent reasonably available, the following insurance coverage:

8.1.1 Property insurance on the Common Areas insuring against all risk of direct physical loss, insured against in an amount equal to the maximum insurable replacement value of the Common Areas, as determined by the Board; provided however, that the total amount of insurance shall not be less than one hundred percent (100%) of the current replacement cost of the insured property (less reasonable deductibles), exclusive of the land, excavations, foundations and other items normally excluded from a property policy and all other insurances as may be required in agreements with the United States Bureau of Reclamation;

8.1.2 Comprehensive general liability insurance, including medical payments insurance, in an amount determined by the Board, but not less than \$1,000,000 per occurrence. Such insurance shall cover all occurrences commonly insured against for death, bodily injury and property damage arising out of or in connection with the use, ownership or maintenance of the Common Areas and other portions of the Project which the Association is obligated to maintain under this Declaration, and shall also include hired automobile and non-owned automobile coverages with cost liability endorsements to cover liabilities of the Owners as a group to an Owner and all other insurances as may be required in agreements with the United States Bureau of Reclamation;

8.1.3 Workmen's compensation insurance to the extent necessary to meet the requirements of applicable law;

8.1.4 Such other insurance as the Board shall determine from time to time to be appropriate to protect the Association or the Owners;

8.1.5 Each insurance policy purchased by the Association shall, to the extent reasonably available, contain the following provisions:

(a) The insurer issuing such policy shall have no rights of subrogation with respect to claims against the Association or its agents, servants or employees, or with respect to claims against Owners or Occupants;

(b) No act or omission by any Owner, unless acting within the scope of his authority on behalf of the Association, will void the policy or adversely affect recovery on the policy;

(c) The coverage afforded by such policy shall not be brought into contribution or proration with any insurance which may be purchased by Owners, Occupants or Mortgagees;

(d) A "severability of interest" endorsement which shall preclude the insurer from denying the claim of an Owner or Occupant because of the negligent acts of the Association or other Owners or Occupants;

(e) Statement naming the Association as the insured; for policies of hazard insurance, a standard mortgagee clause providing that the insurance carrier shall notify any Mortgagee named in the policy at least ten (10) days in advance of the effective date of any substantial modification, reduction or cancellation of the policy.

8.2 **Certificates of Insurance.** An insurer which has issued an insurance policy under this Article shall issue a certificate or a memorandum of insurance to the Association and, upon request, to any Owner or Mortgagee. Any insurance obtained pursuant to this Article shall not be cancelled until thirty (30) days after notice of the proposed cancellation has been mailed to the Association and to each Owner and each Mortgagee to whom certificates of insurance have been issued.

8.3 **Payment of Premiums.** The premiums for any insurance obtained by the Association pursuant to this Declaration shall be included in the budget of the Association and shall be paid by the Association.

8.4 **Payment of Insurance Proceeds.** With respect to any loss to the Common Areas covered by property insurance obtained by the Association, the loss shall be adjusted with the Association, and the insurance proceeds shall be payable to the Association and not to any Mortgagee. Subject to the provisions of Section 8.5 the proceeds shall be disbursed for the repair or restoration of the damage to the Common Areas.

8.5 **Repair and Replacement of Damaged or Destroyed Property.** Any portion of the Common Areas which is damaged or destroyed shall be repaired or replaced promptly by the Association unless (a) repair or replacement would be illegal under any state or local health or safety statute or ordinance, or (b) Owners representing at least eighty percent (80%) of the total votes in the Association vote not to rebuild. The cost of repair or replacement in excess of insurance proceeds and reserves shall be paid by the Association. If the entire Common Areas are not repaired or replaced, insurance proceeds attributable to the damaged Common Areas shall be used to restore the damaged area to a condition which is not in violation of any state or local health or safety statute or ordinance and the remainder of the proceeds shall either: (i) be retained by the Association as an additional capital reserve; or (ii) be used for payment of operating expenses of the Association if such action is approved by the affirmative vote or written consent, or any combination thereof, of Association Members representing more than fifty percent (50%) of the votes in the Association.

8.6 **Limitation of Liability.** Notwithstanding the duty of the Association to maintain and repair portions of the Common Area, neither the Association, its Board of Directors, its successors or assigns, nor any officer or director or committee member, employee, agent, contractor (including the management company, if any) of any of them shall be liable to any Member or any member of a Member's immediate household for any injury or damage sustained in the Area of common Responsibility, the Common Area or other area maintained by the Association, or for any injury or damage caused by the negligence or misconduct of any Members or their family members, guests, invitee, agents, servants, contractors or lessees, whether such loss occurs in the Common Area or in individual Lots. Each Owner, by virtue of the acceptance of title to his or her Lot, and each other Person having an interest in or right to use any portion of the Property by virtue of accepting such interest or right to use, shall be bound by this Section and shall be deemed to have automatically waived any and all rights,

claims, demands, and causes of action against the Association arising from or connected with any matter for which the liability of the Association has been disclaimed under this Section

ARTICLE 9 – GENERAL PROVISIONS

9.1 **Enforcement.** The Association or any Owner shall have the right to enforce the Project Documents.

9.2 **Term: Method of Termination.** Unless terminated in accordance with this Section, this Declaration (as amended from time to time pursuant to the provisions of this Declaration, if applicable) shall continue in full force and effect for a term of twenty (20) years from the date this Declaration is Recorded, after which time this Declaration shall be automatically extended for successive periods often (10) years each. This Declaration may be terminated at any time if such termination is approved by the affirmative vote or written consent, or any combination thereof of Association Members holding ninety percent (90%) or more of the votes in the Association. If the necessary votes and consents are obtained, the Board shall cause to be Recorded a Certificate of Termination, duly signed by the President or Vice President and attested by the Secretary or Assistant Secretary of the Association, with their signatures acknowledged. Thereupon this Declaration shall have no further force and effect, and the Association shall be dissolved pursuant to applicable law.

9.3 **Amendments.**

9.3.1 Except for amendments made pursuant to Sections 9.3.2, 9.3.3 and 9.3.4 of this Declaration, this Declaration may only be amended by the written approval or the affirmative vote, or any combination thereof, of Association Members holding not less than sixty-seven percent (67%) of the votes in the Association.

9.3.2 Either the Board or the Declarant may amend this Declaration, without obtaining the approval or consent of any Owner, Mortgagee or other Person, in order to conform this Declaration to the requirements or guidelines of the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Federal Housing Administration, the Veterans Administration or any federal, state or local governmental agency whose approval of the Project or the Project Documents is required by law or requested by the Declarant.

9.3.3 So long as the Declarant or any Declarant Affiliate owns any Lot, Parcel or other portion of the Property, or any portion of the Additional Property, if any, the Declarant may amend this Declaration without the consent or approval of any other Owner or other Person.

9.3.4 So long as the Declarant or any Declarant Affiliate owns any Lot, Parcel or other portion of the Property, or any portion of the Additional Property, if any, no amendment to this Declaration shall be effective unless approved in writing by the Declarant (or unless the Declarant expressly waives in writing its right to approve such amendments).

9.3.5 Any amendment approved pursuant to Section 9.3.1 of this Declaration or by the Board pursuant to Section 9.3.2 of this Declaration shall be signed by the President or Vice President of the Association and shall be Recorded. Any such

amendment shall certify that the amendment has been approved as required by this Section. Any amendment made by the Declarant pursuant to Sections 9.3.2 or 9.3.3 of this Declaration shall be executed by the Declarant and shall be Recorded.

9.4 **Interpretation.** Except for judicial construction, the Association shall have the exclusive right to construe and interpret the provisions of this Declaration. In the absence of any adjudication to the contrary by a court of competent jurisdiction, the Association's construction or interpretation of the provisions hereof shall be final, conclusive and binding as to all Persons and property benefited or bound by this Declaration.

9.5 **Severability.** Any determination by any court of competent jurisdiction that any provision of this Declaration is invalid or unenforceable shall not affect the validity or enforceability of any of the other provisions hereof.

9.6 **Perpetuities.** If any of the covenants, conditions, restrictions or other provisions of this Declaration shall be unlawful, void or voidable for violation of the rule against perpetuities, then such provisions shall continue only until twenty-one (21) years after the death of the last survivor of the now living descendants of the person holding the office of President of the United States on the date this Declaration is Recorded.

9.7 **Change of Circumstances.** Except as otherwise expressly provided in this Declaration, no change of conditions or circumstances shall operate to extinguish, terminate or modify any of the provisions of this Declaration.

9.8 **Rules and Regulations.** In addition to the right to adopt rules and regulations on the matters expressly mentioned elsewhere in this Declaration, the Association shall have the right to adopt, as part of the Association Rules, additional rules and regulations with respect to any other aspects of the Association's rights, activities and duties, provided said additional rules and regulations are not inconsistent with the provisions of the other Project Documents.

9.9 **Laws, Ordinances and Regulations.**

9.9.1 The covenants, conditions and restrictions set forth in this Declaration and the provisions requiring Owners and other Persons to obtain the approval of the Board or the Architectural Review Committee with respect to certain actions are independent of the obligation of the Owners and other Persons to comply with all applicable laws, ordinances and regulations, and compliance with this Declaration shall not relieve an Owner or any other Person from the obligation also to comply with all applicable laws, ordinances and regulations.

9.9.2 Any violation of any state, municipal or local law, ordinance or regulation pertaining to the ownership, occupation or use of any property within the Property is hereby declared to be in violation of this Declaration and subject to any or all of the enforcement proceedings set forth herein.

9.10 **References to this Declaration in Deeds.** Deeds to and instruments affecting any Lot or Parcel or any other part of the Project may contain the covenants, conditions and restrictions herein set forth by reference to this Declaration; but regardless of whether any such reference is made in any deed or instrument, each and all of the provisions of this Declaration

shall be binding upon the grantee-Owner or other Person claiming through any instrument and his, her or its heirs, executors, administrators, successors and assigns.

9.11 **Gender and Number.** Wherever the context of this Declaration so requires, any word used in the masculine, feminine or neuter genders shall include each of the other genders, words in the singular shall include the plural, and words in the plural shall include the singular.

9.12 **Captions and Title; Section References; Exhibits.** All captions, titles or headings of the Articles and Sections in this Declaration are for the purpose of reference and convenience only and are not to be deemed to limit, modify or otherwise affect any of the provisions hereof or to be used in determining the meaning or intent thereof. References in this Declaration to numbered Articles, Sections or Subsections, or to lettered Exhibits, shall be deemed to be references to those paragraphs or Exhibits so numbered or lettered in this Declaration, unless the context otherwise requires. Any Exhibits referred to in this Declaration are hereby incorporated herein by reference and fully made a part hereof.

9.13 **Notices.** If notice of any action or proposed action by the Board or any committee or of any meeting is required by applicable law, the Project Documents or resolution of the Board to be given to any Owner, Lessee or Resident then, unless otherwise specified in the Project Documents or in the resolution of the Board, or unless otherwise required by law, such notice requirement shall be deemed satisfied if notice of such action, proposed action or meeting is: (a) sent by United States mail to the last known mailing address of the Owner, Lessee or Resident (as applicable), as shown in the records of the Association; or (b) if no such mailing address is reflected on the records of the Association, then sent by United States mail to the mailing address of the Lot or Parcel (as applicable) if, at the time, there is a Residence situated thereon; or (c) if there is no such mailing address reflected in the records of the Association and there is then no Residence situated on the applicable Lot or Parcel, then sent or given in whatever reasonable manner the Board may elect, which may include, without limitation, publishing the same in any newspaper in general circulation within Weber County, Utah. This Section shall not be construed to require that any notice be given if not otherwise required and shall not prohibit satisfaction of any notice requirement in any other reasonable and appropriate manner.

9.14 **Indemnification.** The Association shall indemnify each and every trustee and officer of the Association, each and every member of the Architectural Review Committee, and each and every member of any committee appointed by the Board (including, for purposes of this Section, former officers and directors of the Association, former members of the Architectural Review Committee, and former members of committees appointed by the Board) (collectively, "**Association Officials**") and individually an "**Association Official**") against any and all expenses, including attorneys' fees, reasonably incurred by or imposed upon an Association Official in connection with any action, suit or other proceeding (including settlement of any suit or proceeding, if approved by the Board serving at the time of such settlement) to which he or she may be a party by reason of being or having been an Association Official, unless the liability for such expenses arises out of his or her own intentional misconduct. No Association Official shall have any personal liability with respect to any contract or other commitment made by them or action taken by them, in good faith, on behalf of the Association (except indirectly to the extent that such Association Official may also be a Association Member of the Association and therefore subject to Assessments hereunder to fund a liability of the Association), and the Association shall indemnify and forever hold each such Association Official free and harmless from and against any and all liability to others on account of any such

contract, commitment or action. Any right to indemnification provided for herein shall not be exclusive of any other rights to which any Association Official may be entitled. If the Board deems it appropriate, in its sole discretion, the Association may advance funds to or for the benefit of any Association Official who may be entitled to indemnification hereunder to enable such Association Official to meet on-going costs and expenses of defending himself or herself in any action or proceeding brought against such Association Official by reason of his or her being, or having been, an Association Official. In the event it is ultimately determined that an Association Official to whom, or for whose benefit, funds were advanced pursuant to the preceding sentence does not qualify for indemnification pursuant to this Section 9.14 or otherwise under the Articles, By-Laws or applicable law, such Association Official shall promptly upon demand repay to the Association the total of such funds advanced by the Association to him or her, or for his or her benefit, with interest (should the Board so elect) at a rate not to exceed ten percent (10%) per annum from the date(s) advanced until paid.

9.15 No Partition. No Person acquiring any interest in the Property or any part thereof shall have a right to, nor shall any person seek, any judicial partition of the Common Areas, nor shall any Owner sell, convey, transfer, assign, hypothecate or otherwise alienate all or any of such Owner's interest in the Common Areas or any funds or other assets of the Association except in connection with the sale, conveyance or hypothecation of such Owner's Lot or Parcel (and only appurtenant thereto), or except as otherwise expressly permitted herein. This Section shall not be construed to prohibit the Board from acquiring and disposing of tangible personal property nor from acquiring or disposing of title to real property (other than disposition of title to the Common Areas, which shall be subject to Section 4.1), which may or may not be subject to this Declaration.

9.16 Property Held in Trust. Except as otherwise expressly provided in this Declaration, any and all portions of the Property (and of the Additional Property, if any) which are now or hereafter held in a subdivision or similar trust or trusts (or similar means of holding title to property), the beneficiary of which trust(s) is the Declarant or a Declarant Affiliate, shall be deemed for all purposes under this Declaration to be owned by the Declarant or such Declarant Affiliate, as applicable, and shall be treated for all purposes under this Declaration in the same manner as if such property were owned in fee by the Declarant or such Declarant Affiliate, as applicable. No conveyance, assignment or other transfer of any right, title or interest in or to any of such property by the Declarant or any such Declarant Affiliate to any such trust (or the trustee thereof) or to the Declarant or any such Declarant Affiliate by any such trust (or the trustee thereof) shall be deemed for purposes of this Declaration to be a sale of such property or any right, title or interest therein.

9.17 Number of Days. In computing the number of days for purposes of any provision of this Declaration or the Articles or By-Laws, all days shall be counted including Saturdays, Sundays, and holidays; provided however, that if the final day of any time period falls on a Saturday, Sunday, or legal holiday, then the final day shall be deemed to be the next day which is not a Saturday, Sunday, or legal holiday.

9.18 Notice of Violation. The Association shall have the right to Record a written notice of a violation by any Owner or Occupant of any restriction or provision of the Project Documents. The notice shall be executed and acknowledged by an officer of the Association and shall contain substantially the following information: (a) the name of the Owner or Occupant; (b) the legal description of the Lot against which the notice is being Recorded; (c) a brief description of the nature of the violation; (d) a statement that the notice is being Recorded

by the Association pursuant to this Declaration; and (e) a statement of the specific steps which must be taken by the Owner or Occupant to cure the violation. Recordation of a notice of violation shall serve as a notice to the Owner and Occupant, and to any subsequent purchaser of the Lot, that there is such a violation. If, after the Recordation of such notice, it is determined by the Association that the violation referred to in the notice does not exist or that the violation referred to in the notice has been cured, the Association shall Record a notice of compliance which shall state the legal description of the Lot against which the notice of violation was recorded, the Recording data of the notice of violation, and shall state that the violation referred to in the notice of violation has been cured or, if such be the case, that it did not exist. Notwithstanding the foregoing, failure by the Association to Record a notice of violation shall not constitute a waiver of any existing violation or evidence that no violation exists.

9.19 Disclaimer of Representations. Notwithstanding anything to the contrary herein, neither the Declarant nor any Declarant Affiliate makes any warranties or representations whatsoever that the plans presently envisioned for the complete development of the Project can or will be carried out, or that any real property now owned or hereafter acquired by the Declarant or by any Declarant Affiliate is or will be subjected to this Declaration, or that any such real property (whether or not it has been subjected to this Declaration) is or will be committed to or developed for a particular (or any) use, or that if such real property is once used for a particular use, such use will continue in effect. While neither the Declarant nor any Declarant Affiliate believes that any of the restrictive covenants contained in this Declaration is or may be invalid or unenforceable for any reason or to any extent, neither the Declarant nor any Declarant Affiliate makes any warranty or representation as to the present or future validity or enforceability of any such restrictive covenant. Any Owner acquiring a Lot in reliance on one or more of such restrictive covenants shall assume all risks of the validity and enforceability thereof and by accepting a deed to the Lot agrees to hold the Declarant and all Declarant Affiliates harmless therefrom.

9.20 Amendments Affecting Declarant Rights. Notwithstanding any other provision of this Declaration to the contrary, no provision of this Declaration (including but not limited to, this Section) which grants to or confers upon the Declarant or upon any Declarant Affiliate any rights, privileges, easements, benefits or exemptions (except for rights, privileges, easements, benefits, or exemptions granted to or conferred upon Owners generally) shall be modified, amended or revoked in any way, so long as the Declarant, any Declarant Affiliate or a trustee for the benefit of the Declarant or any Declarant Affiliate owns any portion of the Property, without the express written consent of the Declarant.

9.21 Bulk Service Agreements.

9.21.1 The Board, acting on behalf of the Association, shall have the right, power and authority to enter into one or more Bulk Service Agreements with one or more Bulk Providers (each of which terms is defined below), for such term(s), at such rate(s) and on such other terms and conditions as the Board deems appropriate, all with the primary goals of providing to Owners and Occupants of Lots, Parcels or both within the Property, or within one or more portions thereof, cable television, community satellite television, high speed Internet, security monitoring or other electronic entertainment, information, communication or security services, or any concierge or other personal services: (a) which might not otherwise be generally available to such Owners and Occupants; (b) at rates or charges lower than might otherwise generally be charged to Owners and Occupants for the same or similar services; (c) otherwise on terms and

conditions which the Board believes to be in the interests of Owners and Occupants generally; or (d) any combination of the foregoing.

9.21.2 If all Lots within the Property are to be served by a particular Bulk Service Agreement, the Board shall have the option either to: (a) include the Association's costs under such Bulk Service Agreement in the budget for each applicable fiscal year and thereby include such costs in the Annual Assessments for each such applicable year; or (b) separately bill to each Owner his, her or its proportionate share of the Association's costs under such Bulk Service Agreement (as reasonably determined by the Board, and with such frequency as may be determined by the Board, but no more often than monthly) (provided that such "separate billing" may be made as one or more separate line items on billings or invoices from the Association to the affected Owner(s) for Assessments or other charges). If not all Lots and Parcels within the Property will be served by a particular Bulk Service Agreement the Board shall have only the billing option described in clause (b) above.

9.21.3 The Declarant, for each Lot, hereby covenants and agrees, and each Owner other than the Declarant, by becoming the Owner of a Lot, is deemed to covenant and agree, to pay all amounts levied or charged against or to him, her or it (or his, her or its Lot) by the Board pursuant to this Section 9.21 and all such amounts: (a) shall be deemed to be a part of the Assessments against the Lots against or to which they are levied or charged (or against or to whose Owners they are levied or charged); (b) with interest, late charges and all costs, including but not limited to reasonable attorneys fees, incurred by the Association in collecting or attempting to collect delinquent amounts, shall be secured by the lien for Assessments established by this Declaration; and (c) as with other Assessments, shall also be the personal obligation of each Person who was an Owner of the Lot at the time such amount became due (which personal obligation for delinquent amounts shall not pass to the successors in title of the Owner unless expressly assumed by them unless title is transferred to one or more such successors for purposes of avoiding payment of such amounts or other Assessments or is transferred to a Person controlling, controlled by or under common control with the Owner transferring title).

9.21.4 No Owner of a Lot covered by a Bulk Service Agreement shall be entitled to avoid or withhold payment of amounts charged by the Board to such Owner or such Owner's Lot under this Section 9.21 whether on the basis that such Owner does not use, accept or otherwise benefit from the services provided under such Bulk Service Agreement, or otherwise. However, the Board shall have the right, at its option, to exempt from payment of such amounts any Lot or Parcel upon which no Residence or other building has been completed.

9.21.5 "**Bulk Provider**" means a private, public or quasi-public utility or other company which provides, or proposes to provide, cable television, community satellite television, high speed Internet, security monitoring or other electronic entertainment, information, communication or security services, or concierge or other personal services, to Owners, Residents, or Lots within the Property, or within one or more portions thereof, pursuant to a Bulk Service Agreement (as defined below).

9.21.6 "**Bulk Service Agreement**" means an agreement between the Association and a Bulk Provider pursuant to which the Bulk Provider would provide cable

television, community satellite television, high speed Internet, security monitoring or other electronic entertainment, information, communication or security services, or concierge or other personal services, to Owners, Residents, Lots or Parcels with the Property, or within one or more portions thereof.

9.21.7 During the Period of Declarant Control, the Board shall not, without the approval of Association Members holding at least fifty-one percent (51%) of all Class A votes represented in person or by proxy at an annual or special meeting of the Association Members of the Association, enter into a Bulk Service Agreement which imposes on the Association or its Association Members (other than Declarant or a Developer which, in either case, agrees in writing thereto) any obligation to pay the direct costs of construction of any cables, lines or other facilities or equipment for any cable television, community satellite television, high speed Internet, security monitoring or electronic entertainment, information, communication or security services, but nothing in this Section 9.21.7 shall prevent the Board from entering into, or require approval by the Association Members of, any Bulk Service Agreement which imposes on the Association or its Association Members installation, connection, service charge or similar charges or fees which do not exceed those generally prevailing at the time within the greater Weber County, Utah, area, or which includes as a component of the monthly fee charged by the Bulk Provider amortization of some or all of its capital costs and related costs in providing services under the Bulk Service Agreement.

ARTICLE 10 – BOUNDARY RELOCATION OF LOTS

10.1 Relocation of Boundaries Between Adjoining Lots.

(a) Requirements. The boundaries between any adjoining Lots may be relocated by a Supplemental Declaration upon application to the Association by the Owners of such Lots pursuant to this Section and, during the Development Period, with Declarant's prior written approval, which may be granted in Declarant's sole and absolute discretion. In order to relocate the boundaries between adjoining Lots, the Owners of such Lots, as the applicant, must submit an application to the Board, which application shall be executed by such Owners and shall include:

(i) Evidence demonstrating to the Board that the applicant has complied, and that the proposed boundary relocation will comply with all applicable rules, regulations and ordinances of the County and that the proposed boundary relocation will not violate the terms of any Mortgage;

(ii) A statement that the proposed relocation does not affect the Assessments of the affected Lots;

(iii) The proposed form of Supplemental Declaration, including amendments to the Plat, as may be necessary to show the altered boundaries between adjoining Lots and their dimensions and identifying numbers, and any other information required pursuant to the Act.

(iv) A deposit against attorneys' fees and other costs that the Association will incur in reviewing and effectuating the application, in an amount reasonably estimated by the Board; and

(v) Such other information as may be reasonably requested by the Board.

(b) Approval of Relocation. The Board shall approve any application for relocation of boundaries between adjoining Lots properly made under this Section if: (i) the application satisfies the requirements of Section 12.1(a); (ii) the proposed relocation of boundaries between adjoining Lots in fact will comply with all applicable rules, regulations and ordinances of the County and will not violate the terms of any Mortgage; and (iii) the form of Supplemental Declaration submitted by the applicant is sufficient to effectuate the proposed relocation of boundaries in compliance with the terms of this Declaration and all applicable laws. During the Development Period any proposed relocation of boundaries between adjoining Lots shall require the written consent of Declarant.

(c) Execution and Recording. No relocation of boundaries between adjoining Lots shall become effective until a Supplemental Declaration and, if necessary, an amendment to the Plat meeting the requirements of applicable law have been executed and Recorded.

(d) Costs. All costs and attorneys fees incurred by the Association as a result of an application for relocation of boundaries between adjoining Lots shall be the sole obligation of the Owner or Owners requesting such relocation and may be assessed against the Lot(s) of such Owner and Owners as Specific Assessment.

(e) No Limitation of Development Rights. Nothing in this Article 12 is intended or shall be deemed to limit Declarant's rights under this Declaration.

(f) Combination of Lots. Any 2 or more Lots may be combined into a single Lot (the "Resulting Lot") in accordance with the procedures for the relocation of boundaries provided for in this Section 12.1.

ARTICLE 11 – SPECIAL DECLARANT RIGHTS

11.1 **Special Declarant Rights.** The Declarant reserves the following Special Declarant Rights during the Period of Declarant Control, which may be exercise, where applicable, anywhere within the Property:

- (a) to complete any improvements indicated on the Plats or Supplemental Plats filed with the Declaration or any Supplemental Declaration;
- (b) to exercise any Development right reserved in the Governing documents;
- (c) to maintain sales offices, management offices, models, and advertising signs throughout the Property;
- (d) to exercise easements through the Common Area for the purpose of making, constructing and installing improvements within the Property;
- (e) To make the properties subject to the Community Association as set forth in this document;
- (f) to construct and develop Trappers Crossing in phases by annexing land to this Declaration pursuant to Article 2 of this Declaration;
- (g) to merge or consolidate the Association with another common interest community of the same form of ownership or merge the Association with a master association, should such action be deemed in the best interest of Trappers Crossing in the sole discretion of the Declarant;
- (h) to appoint and remove any director or officer of the Association as provided in this Declaration, as amended and supplemented from time to time.

11.2 **Transfer of Special Declarant Rights.**

(a) **Assignment.** The Declarant may assign any or all of the Special Declarant Rights, Development Rights, or other special rights and obligations of the Declarant set forth in this Declaration or the By-Laws to any affiliate of the Declarant or a Builder, or Declarant may allow any affiliate of the Declarant or a Builder to exercise such rights on behalf of the Declarant. The method of exercising such rights shall be subject to the agreement of the parties thereto, which agreement shall not require recordation in the Public Records.

(b) **Transfer.** Any or all of the Special Declarant Rights, Development Rights, or other special rights and obligations of the Declarant set forth in this Declaration or the By-Laws may be transferred in whole or in part to the Association or to other Persons, provided that the transfer shall not reduce an obligation nor enlarge a right beyond that which the Declarant has under this Declaration or the By-Laws. Upon any such transfer, the Declarant shall be automatically released from any and all future liability arising with respect to such transferred rights and obligations. No such transfer or assignment shall be effective unless it is in a written instrument signed by the Declarant and duly recorded in the Public Records.

11.3 **Sales and Construction Activities.** During the Period of Declarant Control, the Declarant and Builders authorized by the Declarant may maintain and carry on upon portions of the Property such facilities and activities as, in the sole opinion of the Declarant, may be reasonably required, convenient, or incidental to the development of the Property and/or the construction or sale of Lots, including, but not limited to, signage, business offices, sales offices, management offices, and model units and any related parking facilities and sales, development and construction activities. The Declarant and authorized Builders shall have easements for access to and use of such facilities.

11.4 **Construction of Improvements.** During the Period of Declarant Control, the Declarant and its employees, agents and designees shall also have a right and easement over and upon all of the Common Area for the purpose of making, constructing and installing such improvements to the Common Area as it deems appropriate in its sole discretion.

11.5 **Other Covenants Prohibited.** No Person shall record any declaration of covenants, conditions and restrictions, declaration of condominium, easement, or similar instrument affecting any portion of the Property without the Declarant's review and written consent. Any attempted recordation without such consent shall result in such instrument being void and of no force and effect unless subsequently approved by written consent signed by the Declarant and recorded in the Public Records. No such instrument recorded by any Person, other than the Declarant, may conflict with the Declaration, By-Laws or Articles.

11.6 **Amendment to Special Declarant Rights.** Provisions in this Declaration creating Special Declarant Rights shall not be amended without the written consent of the Declarant

[SIGNATURE PAGE TO FOLLOW]

IN WITNESS WHEREOF, Declarant has executed this instrument as of the date first set forth above.

Declarant:

P C LAND DEVELOPMENT, L.L.C.
a Utah limited liability company

By:

Its Manager

By: Paul Laughton

Name: Paul Laughton

Title: Managing Member

State of _____

☐
☐
☐

County of _____

This Declaration was acknowledged before me on the _____ day of _____, 2011, by _____, as Manager of PC Land Development, LLC, a Utah limited liability company.

Dec attached
Notary Public

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California

County of SAN LUIS OBISPO

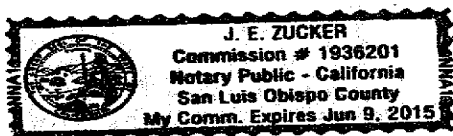
On OCT. 13, 2011 before me, J. E. ZUCKER, Notary Public

personally appeared PAUL J. LAUGHTON

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Place Notary Seal Above

Signature J. E. ZUCKER

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS

Document Date: OCT. 13, 2011 Number of Pages: 62

Signer(s) Other Than Named Above: NONE

Capacity(ies) Claimed by Signer(s)

Signer's Name: PAUL J. LAUGHTON

- ☐ Individual
- ☐ Corporate Officer — Title(s): _____
- ☐ Partner — ☐ Limited ☐ General
- ☐ Attorney in Fact
- ☐ Trustee
- ☐ Guardian or Conservator
- ☒ Other: LLC - MANAGING MEMBER

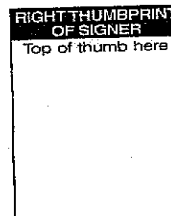
Signer Is Representing: _____



Signer's Name: _____

- ☐ Individual
- ☐ Corporate Officer — Title(s): _____
- ☐ Partner — ☐ Limited ☐ General
- ☐ Attorney in Fact
- ☐ Trustee
- ☐ Guardian or Conservator
- ☐ Other: _____

Signer Is Representing: _____



TRAPPERS CROSSING

Architectural and Site Design Guidelines

August 2011

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I. INTRODUCTION

A. Vision

Between the majestic peaks of Mount Ogden and the valley below lies unique terrain rich in the history of the first fur trappers crossing over the ridge and descending into the Ogden Valley. This rich heritage suggests the name, Trappers Crossing, a land of unsurpassed views and stunning landscapes.

Development of Trappers Crossing must work in harmony with nature to ensure that future generations will be able to enjoy the qualities of this pristine environment. Our footprint must be soft on the land, blending with the vegetation, rock formations and other site features through the use of natural materials and colors that enhance the setting of each home placed in Trappers Crossing.

These Design Guidelines have been prepared to provide Owners with an understanding of the Trappers Crossing philosophy for design of the homes and landscaping of this development. Diversity is encouraged. Just as nature has given the valley and mountains a variety of plants, rocks and soils, homes in Trappers Crossing may be of different colors, design and materials, but these must blend with the natural surroundings. Every home design must begin with a thorough understanding of the home site, taking into account view corridors, sunlight angles, native vegetation, topography and other homes. It is only with this initial understanding of the home site that an architectural design can begin.

The following design guidelines are not strict "building codes," but recommendations for harmonious design. They are intended to be used in conjunction with a formal review process and are meant to give the property owners and their architects and builders an accurate sense of what the Architectural Review Committee will be seeking. Their purpose, in part, is to help clarify the broad spirit of Trappers Crossing, as well as to apply code and approval requirements to specific design issues.

B. Guidelines Organization

Chapter II, Site Planning Design Guidelines, sets forth guidelines and standards for site work relating to grading, landscaping, limits of disturbance, and placement of structures, outdoor furnishings, and other manmade elements. Elements of good site design are to be considered in creating the architectural product proposed for each lot.

Chapter III, General Architectural Character, and Chapter IV, Architectural Design Guidelines, set forth the design standards for structures including height, color and materials.

Chapter IV, Construction Requirements, sets out guidelines for limits of disturbance, revegetation, construction noise mitigation, hours of operation, and other related matters.

Chapter V, Design Review Process, discusses design review procedures from site inspection and preliminary plan submittal through interim construction inspections and final release.

Chapter VI outlines the makeup and organization of the review committee.

Appendices to these guidelines include A - Approved Plant Lists, and B - Design Review Submittal Check List.

II. SITE PLANNING DESIGN GUIDELINES

A. General Site Character

The Trappers Crossing community consists of approximately 80 acres of land located on the south side of the Ogden Valley, Utah. The property and the proposed development are within Weber County. The natural landscape of Trappers Crossing is one of its most important amenities. The attraction of the area is that Trappers Crossing is not urban or suburban. Rather, it is rural and pristine.

These guidelines ask that houses and other structures be designed and built so they fit their sites, relate to their neighbors and become part of the fabric of Trappers Crossing. Homes and their associated appurtenances must be designed and built to have the least possible impact on the landscape.

1. *Vegetation*

The distribution of vegetation types in the Trappers Crossing area is limited chiefly by the annual precipitation and moisture content of the soil. These factors are a function of elevation, slope steepness, aspect or sun exposure, wind, vegetation cover, and the nature of the underlying material.

2. *Topography*

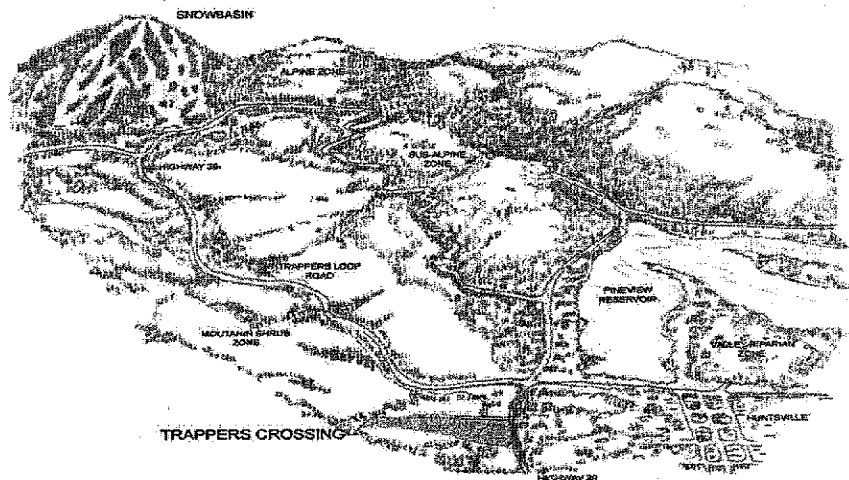
The Trappers Crossing property ranges in elevation from 5,000 feet above sea level to 5,600 feet above sea level on southerly portions of the site. Elevations across the length of the site gently drop from the southeast to the northwest. The majority of the land forms a gently undulating configuration.

3. *Climate*

The climate of Trappers Crossing is influenced by its proximity to the crest of the Wasatch Mountains. The area is classified as "semi-arid continental" and receives between 30 and 35 inches of precipitation annually. Summer temperatures are moderate, with highs approaching the low 90s Fahrenheit. January daytime temperatures average in the low 30s Fahrenheit.

B. Site Evaluation

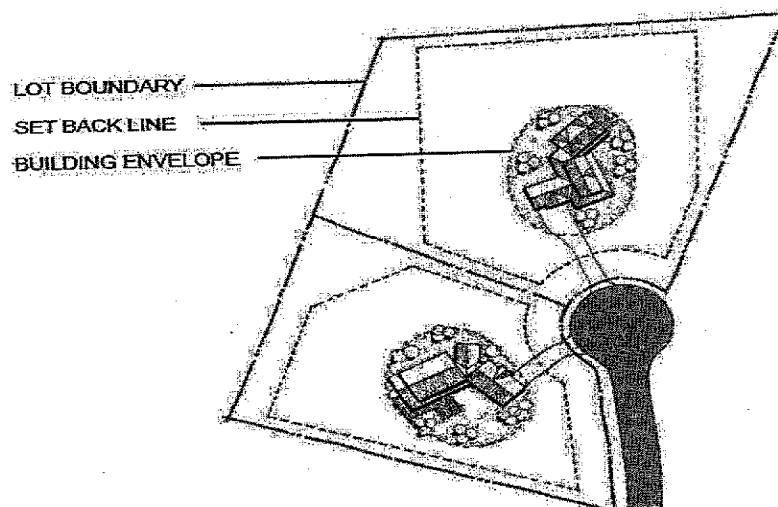
Site planning is a critical element of successfully integrating buildings and improvements within the natural landscape. Every homesite within Trappers Crossing has been designed with a building envelope designated on the lot. This building envelope identifies the location on the lot that maximizes site attributes and minimizes potentially adverse impacts on any sensitive areas within the lot and adjacent property. Nevertheless, property owners and their chosen design consultants must conduct a site evaluation to specifically locate the proposed structure within the building envelope and review the site's unique opportunities and constraints.



An evaluation of the site's parameters may include the following:

- Land features such as ridges, slopes, and rock outcroppings
- Existing vegetation
- Existing grades
- Prevailing winds and solar orientation
- Existing and potential access
- Views
- Noise sources

A well-prepared site plan must be completed in concert with the architectural design and should respond to building siting and orientation, views, grading, access and other design issues. A creative site plan will find a balance between preserving and enhancing the natural features of the site, while addressing the design objectives of the owner. A site plan reflecting existing conditions and proposed construction will be required as a part of the design review submittal package.



C. Building Envelope Locations

Building envelope locations are areas designated on each lot at Trappers Crossing within which improvements on the lot, except utility connections and driveways, must take place. These building envelopes are shown on individual specific lot plans presented to the lot buyer and future owner of each lot. The building envelopes are not reflected on the Recordation Plat. Although some lot constraints may dictate smaller buildable areas, the approximate building envelope for most lots is 35 percent of the lot area. The building envelope locations were determined based on the specific characteristics of each lot and on the design objectives of Trappers Crossing, specifically:

- Protecting ridgelines from within and outside Trappers Crossing;
- Optimizing views;
- Protecting view corridors from other properties or common use areas;
- Protecting sensitive environments;

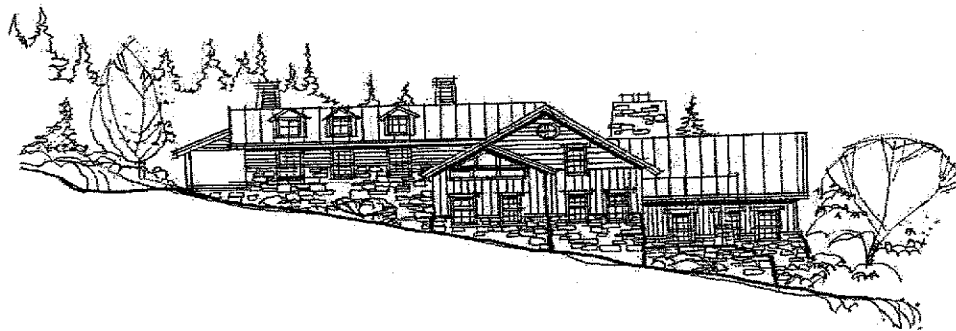
- Protecting and utilizing distinctive natural features;
- Maintaining existing drainage patterns; and
- Preserving the dominance of the natural setting by fitting buildings into the existing landscape.

All buildings, including garages, decks, patios, terraces, pools, structural retaining walls, landscape walls and fences, and similar features must be located entirely within the area defined by the building envelope. Hence, the building envelope represents a very important consideration in the design of a home. Homeowners and their consultants are encouraged to meet with the Architectural Review Committee (ARC) early in the design process in order to understand specific site opportunities and constraints that may exist on their property. As previously noted, buildings and improvements should be sited to blend with the surrounding environment rather than dominating natural site characteristics.

In order to respond to site characteristics, consideration should be given to designs that create a composition of smaller building forms clustered around outdoor spaces such as courtyards, porches and verandas.

This is particularly important for designs where buildings are situated on open land. Without large trees or other vegetation to scale the building to its natural surroundings, it is important for the designer to create outdoor living spaces that blur the distinction between what is indoors and what is not.

Buildings on sloping lots should be stepped with the existing contours of the land. Buildings should be located within the building envelope to allow for convenient driveway access.



Step Residence to Conform to Natural Slope

Driveway access (including grading and retaining walls necessary for site access) and landscape improvements immediately along side the driveway may be located outside of the building envelope.

Unless necessary for driveway access, the removal of trees outside of the building envelope is prohibited without specific approval by the ARC.

Prior to purchase of a lot at Trappers Crossing, the potential lot owner will be provided with an Individual Lot Plan showing specific lot setback requirements and site features that may be unique to the particular lot. Lot purchasers and their consultants will be required to sign-off on the Individual Lot Plan as to their understanding of the lot's specific features and requirements at the time of lot closing.

D. Site Development

1. *Landscaped Areas*

Landscape areas and plans must be submitted to the ARC for approval. Trails, walkways, roadways, driveways and utility corridors are to be left in their natural state unless otherwise approved by the ARC. Any areas disturbed by construction are to be restored with indigenous plant material that is consistent with the adjacent undisturbed area. For most lots, this would consist of grasses and native shrubs (see plant lists included as Appendix A).

Within the building envelope, landscape design and indigenous plant materials may be used to establish privacy. Landscape design within the building envelope must provide a comfortable transition into the native vegetation. As the Trappers Crossing lifestyle is of a rustic nature, and to minimize the use of water and reinforce integration of improvements with the natural environment.

Landscape designs should incorporate plant materials from the approved indigenous, native, and compatible plant lists, included here in Appendix A, as they relate to the vegetation zones of the surrounding area. Installation of non-native species is discouraged and use of invasive plant materials is strictly prohibited. Landscape designs should define outdoor spaces and entries, frame desirable views, screen undesirable views, buffer prevailing winds, provide seasonal shade and add color and

interest to courtyards, patios, pools and other outdoor spaces. Consideration should be given to size, color and texture of plant materials. The use of drought tolerant plant materials and the installation of moisture sensors, drip irrigation and automatic irrigation systems that conserve water are encouraged.

Landscape plans should address the building envelope and the natural area. Design goals are different for each of these areas and, thus, require different design solutions. A variety of landscape improvements and materials are permitted within the building envelope, but plant materials and improvements are limited in the native landscapes outside the building envelope. These guidelines have been established with the intention that over time the restoration and enhancement of areas disturbed by development will blend and become a common natural landscape feature visually linking the entire Trappers Crossing community.

New plantings should be used to protect important viewsheds, help to define use areas on lots, and screen outdoor service areas and other improvements from adjacent lots and off-site views. Landscape improvements should incorporate, rehabilitate and enhance existing vegetation, utilize indigenous species and minimize areas of intensive irrigation. The following guidelines apply to all landscape areas:

- Provide new trees and shrub plantings in a mix of sizes and textures that will blend naturally into the surrounding vegetation.
- Place large specimen trees in areas close to homes to assist in blending structures into the site.
- Locate plant materials in an informal, natural manner rather than in straight lines, circles or other unnatural patterns.
- Take cues from nature, using soil filled planting pockets nestled among rocks to mimic the wild species that grow in alpine settings.
- Inside the building envelope, limit the use of high-maintenance turf to small patches and lay out lawn areas first, thinking of them as "area rugs" for the garden.
- Irrigated landscaped areas (planted lawn grass) over 3,500 square feet are prohibited.
- Consider natural, native ground covers as alternatives to lawn.
- Design building improvements around existing major stands of trees on the property.
- Protect riparian and wetland areas from disturbance during construction.

- Mulch, if used, must be a natural, organic material and color (not red or orange). The use of stones or like products as mulch is strictly prohibited.

As stated, special consideration must be taken to preserve the natural landscape's visual integrity and prominent physical site features. Large specimen indigenous plant material should be used to replace the natural vegetation lost during construction and to reduce the apparent height of any buildings as viewed from off site.

Thinning, pruning or removal of existing plant material and, in particular, specimen trees (over 8 inches in diameter), is prohibited without the prior approval of the ARC.

2. *Grading and Drainage*

Grading should be designed as a combination of cuts, fills and retaining walls that protect stands of trees, existing slopes and landforms as well as blend into and/or appear to be extensions of existing natural terrain. Slopes of 3:1 are encouraged for distances of more than 10 horizontal feet. In any case, slopes should not exceed 2:1 and for not more than 10 horizontal feet. Whenever possible, natural slopes are to be used instead of structured slope techniques.

Site grading and the handling of drainage should comply with the following guidelines:

- Site grading should be limited to no more than what is necessary to accommodate the residence or building, porches, patios, driveways and sidewalks. Excessive re-contouring of a site, or over-lot grading, is not permitted unless otherwise approved by the ARC.
- Grading should be confined to the building envelope and approved driveway alignment unless otherwise authorized by the ARC.
- Grading should be designed to blend with the natural contours of the site by feathering cuts and fills into existing terrain.
- Grading, landscaping and site improvements should not interfere with the functional aspects of natural drainage courses and easements.
- Drainage and utility corridors that are disturbed by construction must be re-vegetated.
- Property owners are responsible for controlling drainage that results from construction within their building envelope; no drainage may be directed onto other lots or tracts unless such

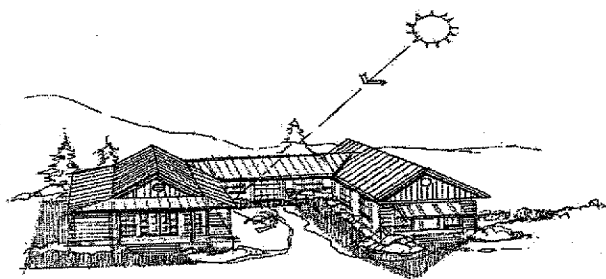
drainage ways are located within designated easements specifically designed for such use.

- Roadway drainage should be accommodated using culverts under driveways. Culvert ends should be cut to match finished grade and faced with stone to match stone used on the main residences or to match existing riprap. Culverts and stone facing are the responsibility of the property owners.
- In general, natural drainage courses must be protected and existing drainage patterns maintained. New drainage ways should be designed to appear and function like natural drainage ways. Headwalls, ditches and similar drainage structures should be built of an approved stone similar to other stone used on the site.

3. *Outdoor Living Spaces*

Outdoor living spaces can provide effective transitions between residences and the out of doors while reinforcing the visual connection of a building with its site. Terraces, patios, decks, and courtyards should be integral elements of the home design. These elements should be confined to the building envelope and, for the most part, should not be free-standing unless approved in advance by the ARC. The number of these elements should be limited to avoid visual clutter.

Attention should be paid to patterns of sunlight in planning exterior spaces in relation to buildings. The objective is to create exterior spaces around homes that will be used, so it is important that these spaces are placed to receive as much sunlight as possible over the course of the day. Consideration should be given to the role building surfaces, colors and material choices play in reflecting sunlight into adjoining exterior spaces.



Attention Should Be Paid To Sunlight Direction and Angles

Materials and roofs for outdoor living areas should be consistent with materials and roof designs used on the main residence. Paths, outdoor stairs and terraces should be designed to blend with the natural topography and vegetation. Decks and trellises should be built of wood, stained and/or sealed. Greenhouses should be simple and straightforward in design and may not be free-standing structures.

Play structures, trampolines, swing sets, slides and/or other such devices are allowed only when application is made and approved in advance with the ARC. Even if these requirements are met, the ARC may deny approval of such equipment. In general, all playground equipment, if approved by the ARC, must be made of natural wood. Any equipment that cannot be made of wood must be earth-tone in color and made of non-reflective material. Plastic materials are not allowed.

4. *Swimming Pools, Spas and Hot Tubs*

Swimming pools, spas and hot tubs, if any, must be designed as visual extensions of the residence through the use of walls or decks and must be

shielded from view. All pools and spas must be constructed according to Weber County regulations. All pumps, motors, and heaters must be fully screened from view from the street, adjacent home sites, and public areas. No above ground pools will be allowed.

5. *Tennis Courts, Sport Courts and Basketball Standards*

Due to the extensive clearing and grading required by tennis courts, they will not be permitted on individual lots within Trappers Crossing. Sport courts will only be allowed when measures to minimize their impacts are included in the plan. Wall-mounted or freestanding basketball standards may be allowed subject to ARC approval. Support posts of a freestanding basketball standard shall be painted to blend unobtrusively with its visual backdrop and surroundings. The backboard must be clear. Portable basketball hoops are not allowed.

6. *Landscape Walls, Fences and Retaining Walls*

Given the vision of an Ogden Valley rural lifestyle, homes in Trappers Crossing should reinforce the openness and continuity of the overall community. For this reason, the landscape walls and fences should be limited to:

- Creating and establishing privacy around outdoor living spaces;
- Screening of service areas;
- Retaining walls;
- Providing an edge between landscaped areas and native vegetation.

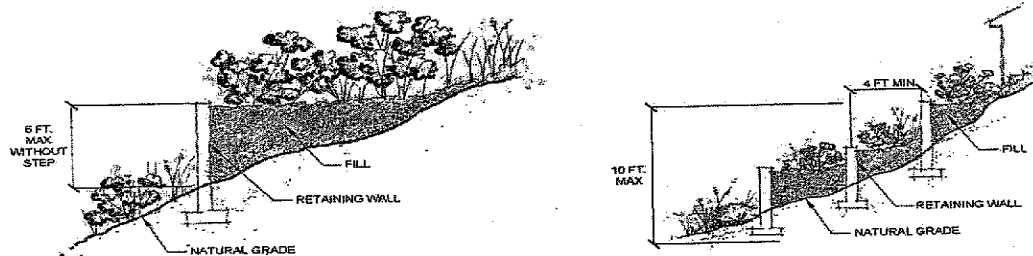
Site walls or fences must appear as visual extensions of the residence, using similar materials and finishes. In no case will site walls or fences be permitted to arbitrarily delineate the approximate building location.

Perimeter fencing of the building envelope or lot boundary is strictly prohibited. Walls and fences must comply with the following guidelines:

- Retaining walls, landscape walls and fences must be located within the building envelope unless otherwise permitted within these guidelines or otherwise approved by the ARC;
- Design of landscape walls and fences, as well as pet enclosures such as dog runs, must be integrated with the design of the residence, must be six feet or less in height, and must be constructed of materials consistent with materials used on the main residence;
- Site walls must be constructed of approved wood, boulders or laid stone, mortared on-site stone or stone-face concrete;

- unacceptable materials include concrete, decorative concrete block, and brick;
- Retaining walls must be constructed of stone or stone veneer consistent with stone used on the residence or other retaining walls along the roadways adjacent to the lots;

RETAINING WALLS



- Retaining walls must not exceed six feet in height unless prior approval is given by the ARC, and, when feasible, such walls should be designed as architectural extensions of the residence to visually tie the building to the property;
- Fences, if allowed by the ARC, must be constructed of rough wood or stone in keeping with materials used on the exterior of the home;
- Metal, plastic, vinyl, chain link and other like materials are strictly prohibited;
- Structural retaining walls in excess of four feet must be designed by a structural engineer.

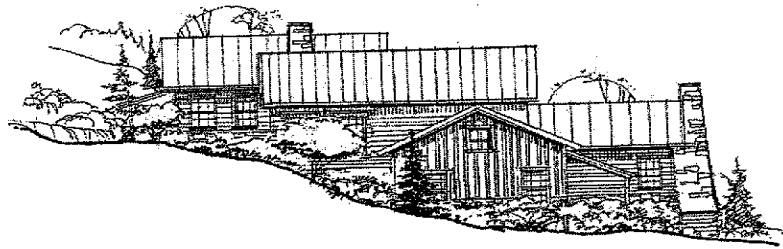
7. Exterior Service Areas and Equipment

Trash disposal, outdoor work areas, and outside equipment including metering devices, transformers, air conditioning units and satellite dishes, are to be completely screened from off-site views and, as appropriate, made inaccessible to wildlife by using architectural features integrated into the building design and the form, materials and colors of the site walls. Wall-mounted utility meters and connections must be enclosed, incorporated into the design of each home, or screened from view by walls, fences or landscaping.

Incorporation of satellite dishes must be approved by the ARC and may be subject to special requirements and fees.

8. *Wildfire Safety Measures*

Roads should provide natural fire breaks. Thoughtful planning and preventative landscape maintenance can greatly reduce the threat of wildfire. The goal of fire-safe landscaping is to reduce the amount of potential fire fuel immediately surrounding a home.



The Excessive Use of Woody Plant Material against exterior walls is discouraged

Along with the use of low fuel loading plant material, the following actions are recommended:

- Dispose of slash and debris left from thinning foliage;
- Stack firewood away from the home;
- Remove dead limbs, leaves, needles and other flammable material;
- Avoid planting aspens, conifers, or other trees directly next to buildings or under roof overhangs.

9. *Roadways, Driveways and Other Paved Surfaces*

All paved surfaces at Trappers Crossing should have a scale and character in keeping with the style and flavor of the community in general and should respond to climate, terrain, and the palette of natural materials and colors suggested by the surrounding environment. Where paved surfaces are used, the choice of material and the alignment of the path, driveway or road should be based on both aesthetic and functional

considerations. There should be a single driveway access per each home site.

Acceptable paving materials include: on-site stone, concrete, concrete paving stone and pavers. Unacceptable materials include: asphalt, decomposed granite, ceramic tile, surface applied aggregate coatings, astro-turf, and concrete block. Paving designs should be simple and straightforward, using one or two different materials at most.

Driveways must align with roadways at not less than a 75-degree angle. Driveways should be a maximum of 14 feet wide except where a turnaround is designed at a garage or off-street parking area. Driveways, turnarounds and off-street parking must be designed to blend into the site and must be buffered from the road using landscaping and earth forms. Driveways should not dominate the front of the residence.

Driveways exceeding 12% up to a maximum of 15% must receive ARC approval and must be heated. In any case, the first and last 20 feet of the driveway must have a maximum gradient of 5%. Driveways should follow alignments that minimize grading, tree cutting, or other site disruption.

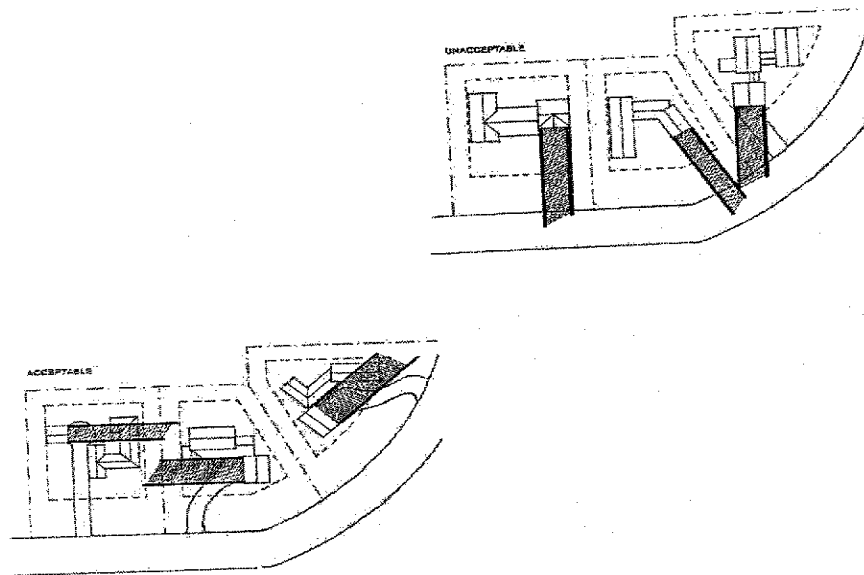
10. Garages, Garage Door Locations and On-Site Parking

Each residence is required to include an attached or detached garage capable of accommodating at least two automobiles. Carports are prohibited unless otherwise approved by the ARC.

Driveway access and garage location lend significant shape to the design and placement of a home. One of the greatest contributors to negative feelings about residential communities is the often-present row of garage doors aligned along the street with oversized driveways leading to them. Every effort must be made to keep this view from becoming prevalent at Trappers Crossing. In order to minimize the impact on the community, garage doors facing the street or any common area are discouraged. Two exceptions to this rule are if a side entry garage would require grading that may have more impact than would a front facing garage or if height restrictions limit building orientation. This issue must be resolved during the pre-design meeting (see Chapter VI).

To determine whether the garage vehicle entrance faces a potentially acceptable direction, lines should be projected perpendicular to each side of the garage door openings until such lines cross a built structure or an undeveloped neighboring buildable area. If one of these lines crosses

into a street or common area, the garage doors are not facing a potentially acceptable direction.



Garage Door Orientation

Exceptions to this rule may be made at the discretion of the ARC due to insurmountable obstacles existing on the home site or for home sites that can accommodate garages in the rear portions of the property. In this latter case, the intent would be to recall a carriage house behind the main residence. Only designs that clearly place the mass of the home significantly closer to the street than the garage will be considered. The front entry or entry for people should appear dominant over the entry for vehicles. Overhangs above the doors and significant architectural detailing also must mitigate the visual impact of the garage doors.

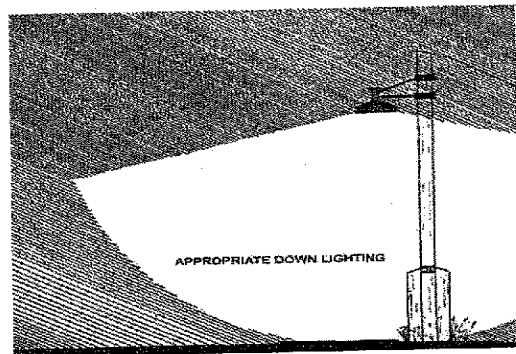
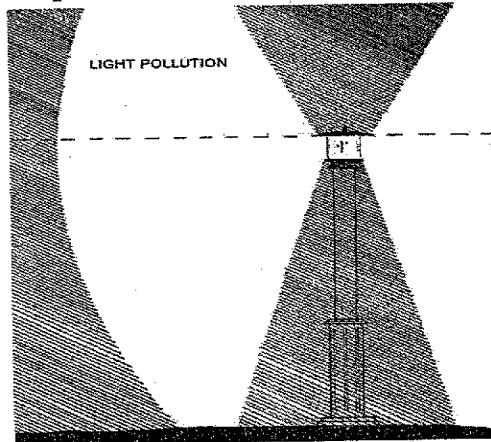
The intent of these requirements is to minimize and direct views from community areas away from vehicular components of a residence. Home sites in prominent locations may have additional requirements relative to garage door placement.

Each home site must have an area for the parking of two guest automobiles within the Building Envelope. Homeowners who possess trucks, buses, motor homes, campers, boats, trailers, motorcycles, or any other motorized vehicle other than a conventional automobiles must store

or park such vehicle within an enclosed garage to as to be completely hidden from view.

11. Lighting

The clarity of the night sky at Trappers Crossing is a primary amenity to be preserved. Light pollution is a threat to the clear



skies that are central to the heritage of the West. Exterior night lighting should be minimized and used essentially to meet the requirements of safety and easy identification of entrances, driveways and buildings. Elsewhere, low intensity lanterns at pedestrian scale or indirect

light sources and cut-off (light source screened from view) fixtures are to be used. Light sources should be shielded and directional and may be incandescent, halogen except for temporary Christmas decorations. Holiday lighting (Christmas Lights) shall be put up no earlier than November 31st and taken down no later than January 31st.

Additional site lighting may be permitted within the Building Envelope provided such lighting does not result in excessive glare toward the street or neighboring properties. Security lighting must comply with the shielding requirement and be connected to a timed motion detector. Harsh interior light such as created by lighted skylights or garage fluorescent lights when the garage has windows is prohibited due to its affect on the night sky.

Every submittal to the ARC shall include a plan detailing night lighting with accompanying specifications and other material to assist the ARC with its evaluation. Designs must meet Ogden Valley requirements.

12. Utility Easements

Utility easements have been established throughout Trappers Crossing in order to facilitate the installation and maintenance of utilities. Owners and their consultants are responsible for providing utility service lines to their homes. All utility lines serving individual homes must be located underground and when feasible, should be sited under or along side driveways to minimize site disturbance.

13. Home Site Restrictions

No more than one residence may be constructed on any home site. When two or more lots are purchased together, the Building Envelope location may be combined to form one lot. The ARC must approve the new Building Envelope location. The height and visual impact of larger homes on combined lots will be assessed by the ARC on a case-by-case basis and may result in special restrictions. This will be resolved during the Pre-Design Conference. Additionally, Weber County may require a visual impact study on larger homes on combined lots.

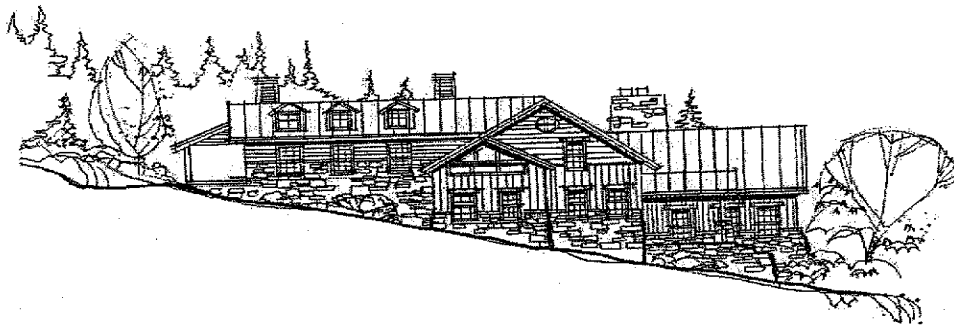
As stated previously, outbuildings such as detached garages may be constructed provided they are visual extensions of the main residence. Such "complexes" are subject to approval by the ARC and any other required governmental agencies.

14. Guest Houses

Guest houses are permitted with County approval on each Trappers Crossing lot except for lot 12. All guest houses must be within the Building Envelope and the square footage of the guest house will be counted toward the total maximum square footage allowed on the home site.

III. GENERAL ARCHITECTURAL CHARACTER

A. Architectural Theme



With the rustic, relaxed mountain lifestyle as the vision for Trappers Crossing, the architectural character of the structures built on the property should reinforce this rustic flavor in mountain-style homes. It is intended that the architecture present a focused design and theme that will define the special character of Trappers Crossing. Architecture must blend with the natural landscape, maintain a sensitive "human" scale and use carefully crafted details with indigenous materials such as timber (no log homes) and stone.

B. Design Considerations

1. Form

The form of the buildings within Trappers Crossing is the most important design factor. Buildings should have a profile that steps with the terrain contours of the site. Buildings should appear to have grown out of the site through the use of terrain-integrated foundation walls and terraces. The foundation walls should serve as a podium for the larger structure, allowing a strong base and transition back to natural grades. Major roof forms should be medium in pitch from 4:12 to 12:12. Roof forms should be used to shed snow away from building entries, patios, decks, porches, garages, driveways and other areas of activity. The overall form of buildings should include one low dominant mass. Secondary forms can then become additive to create an interesting composition of simple elements that step with the terrain.

2. *Structural Expression*

The architectural theme of Trappers Crossing emphasizes a direct expression of structural enclosure, whether through massing of walls or the use of heavy framing. Often the materials of the expressed structure become the visual detail and finish surfaces of the architecture, such as stone bearing walls. The success of this type of architecture depends on the straightforward expression of structural components — mass walls should read as load bearing walls with deep window and door reveals, while truss and beam framing should be visually integral to the primary structure and not used merely as additive decoration.

3. *Exterior Materials*

The palette of materials for Trappers Crossing relates directly to the mountain theme of the development. In general, materials and their uses should be as follows:

a) *Exterior Walls*

The primary wall materials are required to be a combination of not less than three materials. Such as natural stone, board & batten, "Hand troweled," old world-type plaster/stucco over lath and wood. Hand troweled plaster when allowed may be limited as to total area of the outside of a structure. Brick will not be allowed.

b) *Roof Material*

Approved roof materials include slate, asphalt, ceramic and concrete tile (if of an approved color), composite shakes and shingles which resemble cedar, cementitious shakes and metal shingles (copper, zinc,terne and kor-ten steel). Metal must be non-reflective and painted in colors approved by the ARC. Design consideration must be given to the potential danger of snow shedding on pedestrian paths and building entries. Full metal sheet panels are not allowed.

4. *Design Expression*

The basis for design expression at Trappers Crossing is revealed in proportion, scale, use of materials and crafted detail. Such as Craftsman, relaxed upscale mountain style, etc. Important elements of the design theme include:

a) *Entries*

Building entries should be inviting and designed to avoid the danger of snow shedding from overhead roofs. Entry portals and enclosures

should exhibit a high level of artistry in the detailing of structural connections, doors, windows and trim. Entrances proportioned to convey a sense of human scale are more appropriate than those with exaggerated dimensions. The clean lines of restrained and understated entries are preferred. Entrances that are too ornate, imposing or monumental will not be approved. Entrances that are part of covered front terraces or porches are preferred.

Inasmuch as there is only one driveway entrance allowed per home site, porte cocheres will only be approved on home sites large enough to permit the required turning movements, without encroaching into the side setbacks.

b) Stone

Stone should be used to define or enclose a component of the building. Stone should not be consistently used as merely a skirting strip around the base of a building.

c) Windows

Window proportions should be based on a vertical or square unit, whether set into a wall or grouped together in horizontal openings. Viewing windows should be set back under roof overhangs or other recesses in the structure to place the glass in shadow, thus avoiding reflection and glare. Analysis should be done to minimize summer solar gain and maximize the effects of the winter sun.

d) Roof Expression

Roofs should provide comfortable overhangs, not exaggerated, but sufficient to provide a sense of shelter and enclosure. Gable rake fascias should be relatively wide and made up of two or three boards. Structural expression of roof framing should be pronounced.

e) Chimneys

Chimneys should preferably be built of stone. All chimneys should have caps or enclosers to enclose all protective chimney screens. Copper or baked colored metal are the preferred construction materials if a chimney cap is used.

IV. ARCHITECTURAL DESIGN GUIDELINES

Architecture within Trappers Crossing is intended to reinforce and enhance the objective of the development, namely to provide a rural "mountain style" residential setting for the enjoyment of recreation in the form of fishing, hiking, mountain biking, alpine skiing, cross country skiing and horseback riding. In providing guidelines for architectural design, it is hoped that a unique and harmonious sense of place will be created within the boundaries of Trappers Crossing. At the same time, creativity and individual style will have room to develop in the homes and surrounding grounds of each site.

A. Residence Size

Lots within Trappers Crossing range in size from .54 to 1.12 acres. Residences will range between 3,500 and 6,000 square feet of enclosed living area. Homes on Lots 24, 25 and 26 may range in size from 3,500 to 7,500 square feet. Maximum home heights for lots will be defined on the final plat for each phase. Homes should be "residential" in scale, having low, horizontal forms which remain below treetop level.

It is important that the massing of buildings be scaled in such a way that they relate to the people living in the community and harmonize with the area and its natural features. No unbroken expanse of building mass may exceed 60 feet. When the 60-foot limit is reached, one of the following must occur:

- The building mass must be articulated;
- The wall line must be offset a minimum of 10 feet;
- The roof-line must shift up or down at least 10 feet or take on a different ridge alignment.

The intent of this stipulation is to ensure that buildings do not become overpowering. Changing the plane of walls, changing direction and providing some variety in the roof form gives diversity and visual interest.

B. Building Height

Single-family homes must adhere to Weber County guidelines for maximum building heights. Generally speaking heights may not exceed 28 feet from existing grade at any point, excluding chimneys. Some lots may require less building height due to physical lot constraints. The intent of the height guideline is to present a human-scaled roofscape, one which steps with the contours of the terrain and recalls the natural setting. As a general guideline, the vertical distance from the average of the highest grade and the lowest

grade to the highest point of the coping of a flat roof, or to the deck line of a mansard roof, or to the highest point of the ridge of a pitch or hip roof shall be no greater than 35 feet.

C. Foundation Walls

For the purposes of these Guidelines, foundation walls are those walls which seem to "grow" out of the ground. On sloped sites, they are the walls which form the lower-level walkout for uphill homes. On level sites, they are the building walls at the lowest level above grade. In either location, they should be expressed as anchors to tie buildings to their sites. Durable materials, such as stone, stone veneer, board-formed concrete or concrete with an exposed aggregate, should be used to protect the entire foundation exterior wall structures from impact and snow damage. Under no circumstances should lower walls be surfaced with wood, plywood, aluminum siding, steel or plastic siding, asphalt composition, or brick. All foundation walls that are above ground level and/or exposed must be finished in an approved material.

D. Building Walls

Building walls should be expressed as mass or frame walls, related to the structural nature of the building they are enclosing. Building walls occur above foundation walls, and express the more subtle "middle of structures" using more neutral materials.

Materials used on building walls offer the opportunity to convey a sense of unified vision for Trappers Crossing. A limited palette of similar materials should be used to accomplish this. No more than three primary building materials are permitted on any single structure within the development.

Heavy sawn timbers must be sized to reflect the natural surroundings. Timbers should be five inches minimum thickness by six inches minimum depth. Rectangular hewn timbers should be ten inches minimum in any direction.

Wood siding, either vertical or horizontal, may be used on buildings as well as vertical board and batten, provided the boards are 1 X 10 minimum and battens are 1 X 2 minimum. Boards and battens should be rough-sawn, in wood species resistant to exterior weathering, such as Douglas fir or Engleman Spruce.

As previously stated, the use of standard stucco in Trappers Crossing is strictly prohibited. However, hand-troweled, old world style plaster/stucco on lath is allowed. Other acceptable secondary building materials include wrought iron,

stone and painted steel. These materials should be used in accent areas only and in a manner consistent with the architectural language of the building and overall character of Trappers Crossing.

E. Colors

Building colors for residences should be chosen to blend buildings with their surroundings. Earth tones and other low-intensity colors taken directly from the natural site should be predominant. Colors inherent to their materials, such as natural stone, naturally-weathering woods, and clear-finished rough-hewn timbers are the most durable and generally offer the textures desired in Trappers Crossing. Semi-transparent stained woods are permitted as well.

Materials such as stone and wood should not be painted or covered in opaque stains. Trim colors on residences should be in concert with field colors but in shades slightly lighter or darker. Colors foreign to the Trappers Crossing landscape should be avoided (No Yellow).

F. Windows and Exterior Doors

In keeping with the rustic mountain theme, windows and exterior doors should be expressed as relatively deep reveals within mass walls of stone. Within frame walls, they should be expressed as infill materials between structural members with surfaces recessed from the members to reinforce the notion of field versus frame. Trim should be incorporated into the design of windows and doors, either as bucks within stone walls or surface trim on planar materials such as wood siding. Fenestration should not be treated as punch-outs within a wall surface and should be proportioned appropriately for the surrounding material. The intent of the door and window guidelines is to recall the heritage of Trappers Crossing through the thoughtful design of fenestration, yet allowing for relatively unobstructed views of the surrounding landscape.

1. Window Sizes, Shapes and Types

Window sizes should be appropriate to their materials. Windows in general should be square or vertical proportions and supported by deep, rough-sawn wood, cut stone, or cast concrete lintels. Lintels should be wider than the windows they span. Lintel overhands should not be less than two inches. Large view windows should occur in frame walls only and should be recessed under exaggerated roof overhangs or porch soffits to minimize reflections from off site. They should be scaled for the surrounding structure supporting them — windows between large, rough-hewn timbers, for example, will be considerably bigger than those

between smaller timbers. Window sizes should also relate to their locations on structures.

Fenestration should be generally rectangular in shape with deviations from this permitted in unique locations such as entries, special window boxes and so forth. Small, individual windows in mass surfaces should relate to large view windows in window walls through the use of consistent proportions, modular elements or similar designs. Approved window types include picture, fixed, double-hung, awning, casement or sliding. Jalousie or similar multiple-opening type windows are not permitted. Pivoting or hopper windows may be approved by the ARC on a case by case basis.

2. Window Materials and Colors

Windows should be clad in maintenance-free metals such as copper. Aluminum and steel with baked enamel finish may also be used. Copper cladding may also be left to patina naturally, provided it loses its reflective properties within one year after installation. Baked enamel colors for aluminum and steel cladding should be similar to trim colors and in similar hues to field colors or stained wood colors.

Shutters are permitted around windows if they are operable. Design and placement of shutters should be consistent and should not appear random or haphazard. Design freedom is encouraged within the context of other architectural elements on the buildings. Wood shutters should be stained to match wood windows or trim or painted to match baked enamel colors. The use of awnings, canvas or other similar materials is not allowed. Additionally, roll-down exterior window coverings are not allowed.

3. Window Glazing

Windows should be insulated (double-glazed minimum) with at least a single low-emissivity coating on one of the glazings. Glazing should be non-reflective to minimize off-site glare. Large vision panels within window walls should be tempered.

4. Exterior Door Sizes, Shapes and Types

Door sizes should be appropriate to their materials, with more rustic "heavy" doors used in stone and "lighter" more open doors used in

window wall assemblies. Doors in heavy timber or stone walls should be relatively tall and narrow, supported by deep, rough-sawn wood or cut stone lintels. Lintels should be wider than the doors they span. Large, predominantly glazed view doors should occur in frame walls only and should be recessed to minimize reflections from off site. They should be scaled for the surrounding structure supporting them. The largest doors on buildings should generally be reserved for primary entries, where over-sized, finely-crafted portals are most appropriate. All doors should be generally rectangular in shape. Double doors are encouraged at grand entrances or as elements within window wall assemblies.

Approved door types include standard swing, pivot swing, sliding and terrace. Within Guideline parameters, custom designs are encouraged for doors, particularly at primary entries.

5. Exterior Door Materials and Colors

Exterior doors should be wood or wood-clad in maintenance-free metals such as copper. Aluminum or steel with baked enamel finish may be permitted by the ARC for non-primary entrances or entrances to exterior storage or utility rooms. Again, copper cladding may be allowed to patina naturally. Baked enamel colors for aluminum or steel cladding, if allowed, should be similar to trim colors with hues similar to field colors or stained wood colors. Doors constructed of solid wood may be built of panels, planks or timbers—hewn, distressed or similarly finished.

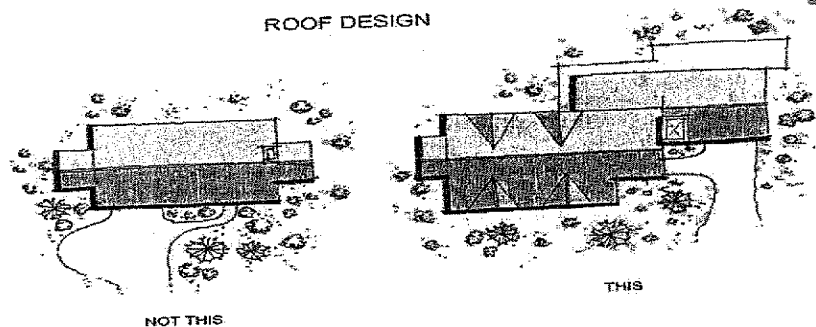
6. Exterior Door Hardware

Variations in designs and materials used for exterior door hardware are encouraged to bring a level of fine detail to buildings within the development. Approved materials include brass, copper, wrought iron, wood and aluminum or steel. Aluminum and steel should be pre-finished. Industrial, highly-reflective finishes such as brushed or polished metals are not permitted.

G. Roofs

The roofline of each home in Trappers Crossing must create its own pleasing relationship to the street, other common areas, and to its adjacent structures when viewed from all directions. The overall profile and articulation of the roof should be sufficiently irregular to break up anything that would

otherwise appear too boxy or discordant with the landscape or neighboring structures. Asymmetrical roofs are preferable to those that are obviously symmetrical. Covered terraces or porches must be fully integrated into the design of the home.



Roof shape is the major element of building form and one of the most important contributors to the human scale. Primary roofs within Trappers Crossing are to be single or double gabled with sheds permitted at smaller, secondary roofs. Primary roofs are defined as roofs which cover more than 250 square feet of roof area for single-family residences. Secondary roofs are those which cover less than 250 square feet of roof area. Clipped gables, conical and flat roofs are not allowed. Mansard, false mansard, gambrel, joined shed, curvilinear and domed roofs are not permitted at Trappers Crossing. Roofs descending from the ridge of the predominant or primary roof must have the same slope, but need not be the same length. Roof structures and roof lines should step down the hillside providing the appearance that the home follows the terrain. Roof framing should be expressed wherever possible, particularly through exposed ridge beams, outriggers, rafter tails and fascia boards. Either cold roof or super-insulated roof construction may be used.

The roofs of all two-story homes should include single-story elements that help scale the two-story elements back to the ground. For both one and two-story residences, the roof profile should be richly varied, including individual masses of sufficient size, in plan and elevation to convey the desired result. The higher masses should generally occur toward the center, with the lower profiles occurring toward the outer portions of the home. At no time can the highest point of the roof be at any of the outside walls.

1. *Roof Pitch*

Approved pitches for primary roofs are between 4.5:12 and 12:12, inclusive. Roofs sharing the same ridge must share the same pitch — “flying” shed dormers and the like are not permitted. Pitch breaks are permitted when they occur at architecturally appropriate locations such as plate line or changes in plane.

2. *Roof Overhangs*

Roof overhangs protect walls and wall openings from rain and snow and contribute to a building's character. Roof overhangs should be proportional to the roof design and wall structure. Overhangs that are less than 18 inches must be approved by the ARC. Metal may not be used on the underside of roof overhangs. Materials must be wood, preferably, or hand-troweled old world-type plaster/stucco over lath.

3. *Materials*

Roof surfacing materials are important as a means of blending the new construction to the existing character of the area. Primary roofing materials will be limited at Trappers Crossing to present a coherent and harmonious image for the community. From a functional standpoint, the choice of materials depends on the slope and assembly of the roof. Approved roof materials include slate, asphalt, ceramic and concrete tile (if of an approved color), composite shakes and shingles which resemble cedar, cementitious shakes and metal shingles (copper, zinc, terne and kor-ten steel). Metal roofs must be non-reflective and of a pre-approved pre-painted baked color. All metal roofs must have the prior approval of the ARC. If copper is used, it must patina within one year or a treatment must be used to facilitate this process.

4. *Roof Appurtenances*

Dormers, clerestories, solar tubes and skylights are roof appurtenances that help to create interesting, pleasant interior spaces. Their location on the roof is critical to avoiding an over-decorated and visually confusing appearance. Dormers can be shed or gable in shape. Swooped dormers are not permitted. Dormers can be placed at the roof eave or within the field of the roof.

Skylights must be placed flush against or no more than 4 inches above the roof's surface. Skylights placed at an angle with the roof plane must

be avoided. Skylights should not extend to the eave line. Clerestories should be placed within the field of the roof and should not extend to the eave line. In general, roof ornaments such as finials, ridge scrolling, turrets or barge and eave boards are discouraged.

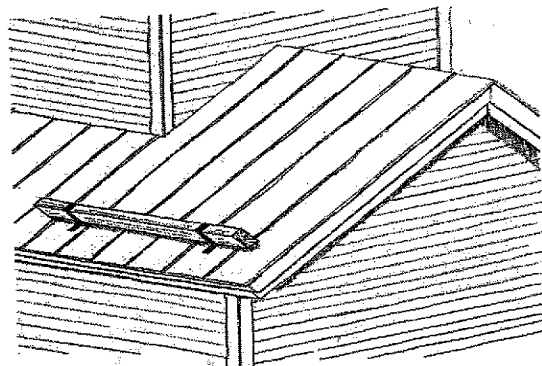
Screened solar panels in earth-toned materials are permitted at Trappers Crossing on a case by case basis with approval of the ARC.

Rooftop access stairs, vent shafts, mechanical and electrical areas, and antennae should be confined within the roof and roof dormers and shall not be allowed to protrude from the roof or form awkward-looking bulges in the roof field.

5. *Snowguards, Gutters and Downspouts*

Snowguards should be used wherever significant amounts of snow may accumulate over occupied areas such as entries, patios, porches, driveways, garages and decks. Pitched roofs which face north are particularly susceptible to snow and ice accumulation.

Snow and ice accumulation on roofs which heat quickly during sunny winter days is especially dangerous to unsuspecting persons or equipment. Roofs which face south should be equipped with snowguards to prevent injury to people or property.



Outdoor gathering areas facing south, which are not completely covered, are exposed to water drip from the roofs above. These locations are ideal candidates for gutters and downspouts. Where roofs are in constant shadow or have northern exposures, gutters and downspouts used in conjunction with heat tape are often effective. Gutters used below snowguards should be designed to take the load of accumulated snow and ice which snowguards frequently release.

Approved materials for gutters and downspouts include aluminum or steel with baked finish, and copper or lead-coated copper. Gutter sections may be traditional or half-round. Snowguards should be constructed of painted plate steel vertical supports with timber horizontal

members that relate to nearby structural members. All exposed steel should be painted, preferably with a baked finished.

I. Fireplaces and Chimneys

1. *Fireplace Requirements*

The use of wood burning fireplaces or stoves is permitted at Trappers Crossing. Fireplaces should be designed to meet all applicable codes. Exposed flues and vents for gas-operated fireplaces or other equipment such as furnaces should be hidden from primary views and painted to blend with the nearest building materials.

2. *Chimney Sizes and Shapes*

All flues six inches in diameter or greater shall be designed with chimneys. Chimneys should be in scale with the architecture of the building—not small enough to be lost in the massiveness of the structure, but not large enough to overwhelm the building. Heights of wood-burning chimneys relative to their nearest rooflines should comply with applicable codes. Heights of gas-burning chimneys or boiler flues should be designed to proportionally match their wood-burning counterparts to lend authenticity and consistency to the overall roofscape.

3. *Materials and Caps*

Chimneys within Trappers Crossing should be covered in stone veneer (to match building veneer), copper, or steel. Chimneys may terminate in decorative caps of stone or metal. When flat or pitched stone caps are used, they should have a minimum thickness of four inches. Chimney caps should be designed to screen spark arrestors and other utilitarian equipment as much as possible. Metal flashing materials used around chimneys and fascia must be made of copper. Other materials may be used on a case-by-case basis with the prior approval of the ARC.

J. Pre-Fabricated Buildings

No building that is constructed off-site and requires transportation to any home site, whole or in partial assembly, will be permitted including mobile homes, stock modular buildings, or any other structure requiring transportation and set up in a partially completed state.

V. CONSTRUCTION REQUIREMENTS

The preservation of natural areas of Trappers Crossing is critical to the community. To ensure that natural areas surrounding every home site are preserved to the maximum extent possible and the nuisances inherent in any construction process are kept to a minimum, the following regulations will be enforced during the construction period of all improvements. Lot owners will be responsible for violations of these Guidelines by any consultant, contractor or subcontractor, agent or employee performing any activities on behalf of the Owner in Trappers Crossing, whether such violation occurs on the Owner's property or elsewhere in the community. Applicable Occupation Safety and Health Act (OSHA) regulations and guidelines must be observed at all times during construction.

A. Limits of Disturbance

The building envelope is the limit of disturbance on each home site and is also the area within which all construction activities related to the improvements must be confined with the exception of driveway and utility lines. To this end, the approved area of disturbance should be staked and temporarily fenced with a minimum four-foot high construction fence during the duration of construction. Construction fencing should extend to the street frontage so contractors and suppliers will be unable to park vehicles or store supplies in the natural environment. All disturbed areas must be revegetated following construction with natural plant materials. When a utility trench does not follow the driveway, the trench area should be fenced with construction fencing no wider than 8 feet along the trench on each side and must be fully revegetated wherever the natural area is disturbed.

B. Construction Site Plan and Construction Trailers

As part of the Final Design Submittal to the ARC, a construction site plan should be prepared and approved which indicates construction access, parking areas off the street, sanitary facilities, concrete wash out area, trash drum, material storage and approved access drives for construction activities on any home site.

Upon approval of the building permit and not sooner than two weeks prior to commencement of continuous construction, a construction trailer or portable field office may be located on the building site within the building envelope, clear of all setbacks unless otherwise approved by the ARC. Temporary power and telephone may be installed when the field office is placed on site. The type, size and color of any portable office must be approved by a representative of the ARC as part of the construction site plan. The field office

may not remain on site for longer than two weeks after construction is complete.

C. Construction Trash Receptacles and Debris Removal

Owners and builders must clean up all trash and debris at the end of each day. An approved trash receptacle should remain on the site during the construction period for this purpose. Receptacles should be positioned along the access drive, clear of adjacent road rights of way and neighboring properties. Trash receptacles must be emptied on a timely basis to avoid overflow of refuse and disposal must be offsite at an approved Wasatch County landfill. Owners and their consultants, contractors, or other employees are prohibited from dumping, burying, or burning trash of any kind (including construction and landscaping debris) anywhere on the home site or in Trappers Crossing.

All concrete washout from both trucks and mixers must occur within a contained area of the building envelope in a location where it will ultimately be removed from the site completely. Concrete washout in road rights of way, setbacks or on adjacent properties is strictly prohibited.

Each construction site must be kept neat and must be properly policed to prevent it from becoming a public eyesore, nuisance or detriment to other home sites or open space. Any clean-up costs incurred by the ARC or the developer in enforcing these requirements will be payable by the Owner. Dirt, mud or debris resulting from activity on each construction site must be promptly removed from public or private roads, open spaces and driveways or other portions of Trappers Crossing.

D. Sanitary Facilities

Each owner or contractor/builder is responsible for providing adequate sanitary facilities for construction workers. Portable toilets must be located within the building envelope, clear of setbacks and in a discrete location approved by the ARC.

E. Daily Operation

Daily working hours for each construction site shall be from 30 minutes before sunrise to 30 minutes after sunset. Construction activity which generates noise audible from the boundaries of any home site, such as hammering, sawing, excavation work, concrete delivery and so forth must be confined to the hours of 7:00 AM to 7:00 PM, Monday through Friday, and 8:00 AM to 7:00 PM on

Saturday. Noisy activity is prohibited on Sunday of each week, particularly during the summer period of high owner/visitor occupancy.

F. Site Visitations

Due to the inherent danger associated with an active construction site, visitors to any site should be limited to those persons with official business relating to the construction activity, such as construction workers and tradesmen, building officials, security staff, Architectural Review Committee members, sales personnel and the owner. Construction personnel should not invite or bring family members or friends, especially children, to the job site.

G. Construction and Vehicular Access, Parking and Uses

Prior to the start of construction activity, each general contractor shall meet with security staff and prepare a "contractor's vehicle pass list" with supporting information relating to the description and identification of construction/employee vehicles. No person or vehicle will be allowed past the gatehouse until the requisite documents are on file and the appropriate passes have been issued. The ARC or the security staff may require proof of acceptable insurance as a condition of entry.

The access drive approved by the ARC will be the only construction access to any home site. Construction crews shall not park on, or otherwise use, undeveloped portions of home sites or open space. Vehicles shall be parked within an agreed upon area specified and approved by the ARC. During busy construction periods involving multiple trades such that all vehicles cannot be confined to the site proper, the overflow vehicles may be temporarily parked along the roadside shoulder in locations and for time periods solely as approved by the ARC. During these periods, continual unconstrained access by normal traffic and emergency vehicles, including fire trucks, must be possible at all times. When parking on the shoulder occurs, all damage to the shoulder and landscape must be repaired by the Owner or contractor immediately and not left until the end of construction.

Construction crews are prohibited from bringing pets into Trappers Crossing and are not allowed to fish or hunt within the development.

H. Use of Firearms

The possession or discharge of any type of firearm by construction personnel on any construction site, home site, common area parcel or right-of-way is prohibited.

I. Alcohol and Controlled Substances

The consumption of alcohol or use of any controlled substance by construction personnel on any construction site, home site, common area parcel or right-of-way is prohibited.

J. Preservation of Native Landscape and Revegetation

Prior to site disturbance, trees and all natural areas which are to be preserved must be marked and protected by flagging, fencing or barriers. The ARC has the right to flag major terrain features, trees or plants it deems should be protected.

As stated many times in these Guidelines, the impact of construction on the existing landscape should be minimized as much as possible. However, some disturbance is inevitable. Correcting damage caused during the development process requires revegetation. To the greatest possible extent, revegetation should recreate the character of the pre-development environment using native trees and plant materials.

New plantings must blend with the existing landscape so that several years hence, all traces of the disruption will have disappeared. Plant species native to Trappers Crossing and approved by the ARC are included in Appendix A to these Guidelines.

A revegetation plan must be prepared and submitted with the final documents. Preparation of such plans should take into account the seasonal diversity, wildlife support and fuel management characteristics of the plants to be used.

Owners and their contractors will be held financially responsible for site restoration, revegetation and refuse removal from their property and from adjacent properties should the latter be the result of trespass or negligence by themselves, their employees, or sub-contracted agents.

K. Erosion Control

During construction, measures must be taken to mitigate erosion. To this end, contractors should employ in-field construction methods as outlined below. Measures must comply with Weber County, state and federal requirements.

- Temporary run-off channels must be built to drain construction zones. In areas draining two acres or less, channels must have silt screens installed at appropriate locations. Silt screens should be stretched

across and anchored to the bottom of the channels with hay bales placed on the upstream side of the fabric. Where watershed above the site exceeds two acres, temporary earthen berms or ditches for channeling must be used in conjunction with silt screens.

- Silt fencing and/or hay bales must be provided along stream edges to prevent erosion of soil into streams.
- Soil stockpiles must be covered until soil is spread or removed from the site.
- All storm drain inlet structures must be protected by a filter berm until the area is stabilized with vegetation or the base course of pavement is installed.
- Weather permitting, all embankments constructed as part of cut and fill operations must be seeded and mulched within one week of disturbance.
- Weather permitting, all building site areas must be seeded and mulched within one week of final grading completion.

L. Dust and Noise Control

The contractor is responsible for controlling dust and noise from the construction site including removal of dirt and mud from public or private roads that is the result of construction activity on the site.

The sound of radios or other audio equipment used by construction personnel must not be audible beyond the property perimeter of any home site. No exceptions.

M. Blasting

If any blasting is to occur, the ARC must be notified two weeks in advance and appropriate approvals must be obtained from Wasatch County. Blasting may only be done by licensed demolition personnel, with all requisite insurance coverages as mandated by county and state statutes, specific to their blasting activity at Trappers Crossing. The ARC will have the authority to require in writing documentation of anticipated seismic effects, with confirmation such effects will not be injurious to other persons or properties, public or private, and that all appropriate protection measures have been utilized. The ARC may require additional insurance to cover potential damage from blasting to subdivision improvements and common areas. All excess material resulting from blasting, as well as all other excess excavation materials, must be promptly removed from the project site.

N. Material Stockpiling

All building materials, equipment and machinery required to construct a residence on any home site at Trappers Crossing must be delivered to and remain within the building envelop of each home site. This includes all building materials, earth-moving equipment, trailers, generators, mixers, cranes and any other equipment or machinery that will remain in the community overnight. Material and equipment delivery vehicles may not drive across adjacent home sites or common area to access construction sites.

O. Construction Insurance Requirements

All contractors and sub-contractors must post evidence of insurance with their lot Owner prior to entering the construction premises. Confirmation must be evidenced in the form of a valid Certificate of Insurance naming the lot Owner, Trappers Crossing and the Trappers Crossing Homeowners Association as certificate holders under the policy. The insurance must provide coverage for comprehensive general liability and automobile liability of not less than \$1,000,000 and workers' compensation to the limits required by the State of Utah. General liability coverage should contain provisions for contractual liability and broad form property damage. The certificate should provide for 30-day notice to the certificate holders in the event of cancellation or material change in the limits of coverage.

VI. DESIGN REVIEW PROCESS

Site sensitive design is fundamental for development at Trappers Crossing. Design drawings should evolve from the careful and thorough analysis of a site's specific setting and features. Consequently, Owners and their consultants should approach a site with an open mind, creating development that fits within the environment in which it will be placed.

Owners should assemble a design team that includes an architect and a landscape architect having registrations in the State of Utah. Owners and their design teams should become familiar with these Design Guidelines, the Trappers Crossing Covenants, Conditions and Restrictions, Weber County's applicable codes and ordinances, and other state and federal regulations that apply to development at Trappers Crossing.

A. Pre-Design Conference

Prior to preparing preliminary plans for any proposed improvement at Trappers Crossing, the owners and their consultants (including some or all of the following: architect, landscape architect, engineer, and contractor) must meet with a representative of the ARC to discuss proposed plans and to resolve any questions regarding building requirements at Trappers Crossing. This informal review, which should occur on the property, is intended to offer guidance and answer questions prior to the initiation of preliminary design.

The parameters and directives identified at each Pre-Design Conference remain valid for six months only. If the submittal of a preliminary design does not occur within six months of this Conference, a supplementary Pre-Design Conference will be required to review any changes in site conditions or revisions to the Design Guidelines that may have occurred.

B. Preliminary Design Submittal

The preliminary design submittal must follow the Pre-Design Conference within six months and must include the following exhibits:

- Site plan (scale at 1" = 10' or 1/8" = 1') showing the entire lot, location of the building envelope, building setbacks, limits of disturbance, the building footprint including garage and decks or porches, driveway, terraces, patios, existing and proposed topography, proposed finished floor elevations, significant trees, clusters of native shrubs and special terrain features to be preserved.
- Survey (scale at 1" = 10' or 1/8" = 1') prepared by a registered land surveyor or licensed civil engineer and showing the home site

- boundaries and dimensions, topography (2-foot contours or less), major terrain features to include areas of 30% or greater slopes, trees, edge of pavement or curb and utility locations.
- Floor plans (scale $\frac{1}{4}"$ or $\frac{1}{8}" = 1'$) showing proposed finished floor elevations.
- Exterior elevations (scale $\frac{1}{4}"$ or $\frac{1}{8}" = 1'$) showing both existing and proposed grade lines, plate heights, ridge heights, roof pitch and a preliminary indication of exterior materials and colors.
- Preliminary landscape plan showing existing vegetation, areas of proposed removal of vegetation during construction, as well as proposed site furnishings, areas proposed for new plantings and suggested irrigation.
- Preliminary lighting plan showing locations of any free-standing light standards with material types and light sources, lighted landscape elements, and lighting on exterior building spaces and outdoor living areas.
- Other drawings, materials or samples requested by the ARC.

Three sets of plan prints should be submitted, of which two sets will be retained by the ARC. The ARC will review the plans and respond in writing no later than 45 days following receipt of a complete submittal.

C. Final Design Submittal

A final design submittal should follow within six months but no longer than twelve months from the ARC's granting of approval for the preliminary design. This submittal must include the following exhibits. Review by the ARC will not begin until all required documentation is received. Weber County and other jurisdictional agency reviews are in addition to review by the Trappers Crossing ARC and approvals from all reviewing entities must be obtained prior to commencement of construction.

- Final Site Plan (scale at 1: = 10' or $\frac{1}{8}" = 1'$) showing the entire lot, the building envelope, building setbacks, limits of disturbance, the residence and all other buildings, driveway, culverts, drainage channels, parking areas, existing and proposed topography, finished floor elevations, protected plants and trees, special terrain features to be preserved, trees to be removed, utility sources and connections, and site walls/fences.
- Floor Plans (scale $\frac{1}{4}" = 1'$ or $\frac{1}{8}" = 1'$) showing finished floor elevations.
- Roof Plan (scale $\frac{1}{4}" = 1'$ or $\frac{1}{8}" = 1'$) showing all roof pitches.

- Building Section (scale $\frac{1}{4}" = 1'$ or $\frac{1}{8}" = 1'$ or larger) indicating existing and proposed grade lines.
- Exterior Elevations (scale $\frac{1}{4}" = 1'$ or $\frac{1}{8}" = 1'$) showing both existing and proposed grade lines, plat heights, roof pitch and an indication of exterior building materials and colors.
- Materials Sample Board and literature as required by the ARC depicting and describing all exterior materials.
- Final Landscape Plan (scale $1" = 10'$ or $\frac{1}{8}" = 1'$) showing size and type of all proposed plants, irrigation system, decorative materials or borders, and retained plants, as well as outdoor living spaces including pathways, gazebos, decks, greenhouses and so forth.
- Final Lighting Plan (scale $1" = 10'$ or $\frac{1}{8}" = 1'$) showing final locations of free-standing light standards with materials and specifications, lighted landscape elements, as well as lighting on exterior building spaces and outdoor living areas
- Construction Site Plan as outlined in Chapter 5.B.
- Construction Documents including one set of plans and specifications
- Construction Schedule showing anticipated construction commencement, inspection intervals and construction completion
- Structural Certifications

The ARC may also require on-site staking of building corners and other improvements. The submittal must include three sets of plan prints, two of which will be retained by the ARC. A complete submittal package must be received at least five days prior to a scheduled ARC review meeting in order to be placed on the agenda for that meeting.

The ARC will review final submittal packages and respond in writing within 15 days but no later than 30 days after a complete submittal has been received. Results of reviews may be discussed over the telephone and Owners and their consultants will only be included in review meetings at the invitation of the ARC. Responses to the ARC by Owners and/or their consultants must be in writing. ARC's final approval is valid for 12 months from the date of approval.

At the discretion of the ARC, an on-site inspection may be conducted prior to final design review to confirm that plans reflect actual site conditions. A Design Review Submittal Check List is included as Appendix B.

D. Resubmittal of Plans

In the event that plan approval is denied for either a preliminary or final submittal, a resubmission of plans should follow the same procedure as an original submittal.

E. Construction Commencement

On receipt of final approval from the ARC and all other reviewing agencies, and upon obtaining a building permit from the appropriate County building office, the Owner may begin construction in accordance with the approved plans immediately or not later than 12 months following final approval. If construction has not commenced within this time period, approval will be considered revoked.

In any event, construction must be completed within one year from commencement except if completion is impossible due to labor strikes, national emergencies or natural calamities. If the 12-month deadline will be breached, Owners or their representatives must notify the ARC, indicating the reasons for the delay and the revised timeline for completion.

At the discretion of the ARC, work in progress may be inspected and notice may be given of noncompliance with approved plans and/or these Design Guidelines. The ARC reserves the right to hire an independent inspector at the property Owner's expense should circumstances dictate. Absence of such inspection or notification during construction does not constitute an approval by the ARC of work in progress or compliance with the Design Guidelines. Any such inspection should not be construed as an acceptance of any improvements or conditions, or as a waiver of any provision of these Design Guidelines or of any condition of approval established by the ARC.

F. Modifications to Plans after Approval

Any modifications or additions to plans, whether architectural or site designs, including color or materials changes, must be submitted to the ARC for approval prior to implementation.

G. Right of Waiver

The approval by the ARC of any plans, drawings or specifications for any work done or proposed to be done shall not be deemed to constitute a waiver of any right to withhold approval of any similar plan, drawing or specification subsequently or additionally submitted for approval. Failure to enforce any of the Design Guidelines shall not constitute a waiver of same.

The ARC reserves the right to waive or vary any of the procedures set forth herein at its discretion for cause.

H. Construction Completion

Construction activities including landscape installations must be completed within 24 months of construction start. Upon completion of construction, the ARC will inspect the property and issue a certificate of final construction approval.

I. Design Review Fee

A Design Review fee will be charged as determined by the ARC. The initial fee has been set at \$1,000 per lot. Additional Design Review fees may be charged for resubmittals, remodels or other special circumstances. Design Review fees are due at the time of preliminary submittal and no plan review will be conducted until fees are paid in full. Fees may be updated at any time and at the discretion of the ARC.

VII. ARCHITECTURAL REVIEW COMMITTEE STRUCTURE

A. Members

As stipulated in the Covenants, Conditions and Restrictions (CC&Rs) of Trappers Crossing, as long as the Developer owns any lot or parcel within Trappers Crossing, the Architectural Review Committee (ARC) will consist of two regular members and one alternate member, each of whom will be appointed by and serve at the sole discretion of the Developer. At such time as the Developer no longer owns any property within Trappers Crossing, the ARC will consist of such number of regular and alternate members as the Board of Directors of the Trappers Crossing Homeowners' Association (Board) may deem appropriate from time to time, but in no event shall there be less than three or more than seven regular members, nor less than one nor more than three alternate members. In this case, each of the members will be appointed by and serve at the discretion of the Board. Additional regulations governing the appointment of ARC members are outlined in the CC&Rs.

B. Meetings

The ARC will meet on a regularly scheduled basis as determined feasible and necessary to perform their duties during development of the property. The vote of a majority of the members shall constitute an act by the ARC. The ARC will keep on file all submittals and copies of written responses to Owners and their consultants to serve as a record of actions taken.

C. Address

The address of the ARC will be established and included in these Design Guidelines prior to publication. Such address will be the place for submittal of plans and specifications for review and also where copies of these Design Guidelines can be obtained.

D. Resignation of Members

Any member of the ARC may, at any time, resign from the Committee upon written notice delivered to the Board.

E. Amendment of Design Guidelines

The ARC may, from time to time at its sole discretion, amend or revise any portion of the Design Guidelines. All such amendments or revisions must be appended to and made a part of the Design Guidelines. Administrative

changes may be in a like manner by the ARC. Changes of a substantive nature may be recommended by the ARC for consideration by the Board.

F. Liability

Neither the ARC, nor any member thereof, nor Trappers Crossing, its Homeowners' Association, its members, managers, employees, agents, or affiliates will be liable to any Owner or other person for any loss or damage claimed on account of any of the following:

- The approval or disapproval of any plans, drawings and specifications, whether or not defective. Owners acknowledge that the ARC is not reviewing plans, drawings or specifications for structural soundness, adherence to codes, or other similar purpose, but only with the intent of determining whether such plans, drawings and specifications comply with the provisions of these Design Guidelines. Neither the ARC nor any of its individual members, whether or not such member is a licensed or registered design professional, shall have any liability as architect, engineer or other design professional.
- The construction or performance of any work, whether or not pursuant to approved plans, drawings and specifications regardless of any inspections by the ARC during the course of construction.
- The development or manner of development of any property within Trappers Crossing.
- The inspection or approval of any improvements within Trappers Crossing.

Every owner or other person, by submission of plans and specifications to the ARC for approval, agrees that no action or suit against the ARC, any of its members, or the Developer, will be brought as a result of any action taken by the ARC.

Approval by the ARC of any improvement at Trappers Crossing only refers to the Trappers Crossing Design Guidelines and in no way implies conformance with local government regulations. It shall be the sole responsibility of the Owner to comply with all applicable government ordinances and/or regulations, including but not limited to zoning ordinances and local building codes.

G. Delegation of Authority

The ARC may delegate any or all of its Design Review responsibilities to one or more of its members, acting as a subcommittee of the ARC, and/or a professional design consultant retained by the ARC on behalf of the Board. Upon such delegation, the actions of such members or consultants shall be equivalent to action by the Committee as a whole.

H. Governance

These Design Guidelines are promulgated pursuant to the terms and conditions of the CC&Rs of Trappers Crossing. In the event of any inconsistency between the provisions of these Design Guidelines and the provisions of the CC&Rs, the provisions of the Design Guidelines shall apply. In the event of any inconsistency between codes and ordinances of local, state and federal agencies and these Design Guidelines, the stricter regulation, code or requirement shall apply.

APPENDIX A

TRAPPERS CROSSING

APPROVED PLANT LISTS

Indigenous Plant List (xeriscape)

Approved Native and Compatible Plant List (natural areas)

Additional Approved Plant List (building envelope)

INDIGENOUS PLANT LIST
 Xeriscape
 Natural Area/Common Open Space Areas
(drip irrigation for establishment recommended)

Trees

Acer glabrum
 Picea pungens
 Prunus virginiana
 Quercus gambellii

Rocky Mountain Maple
 Colorado Spruce
 Chokecherry
 Gambel Oak

Shrubs

Amelanchier alnifolia
 Artemisia tridentate
 Gutierrezia sarothrae
 Purshia tridentate
 Rosa woodsii
 Symphoricarpos occidentalis

Saskatoon Serviceberry
 Big Sage
 Snakeweed
 Antelope Bitterbrush
 Wood's Rose
 Western Snowberry

Perennial Flowers

Achillea millefolium
 Balsamorhiza sagittata
 Helianthus
 Wyethia amplexicaulis
 Allium acuminatum
 Castilleja chromosa
 Lupinus spp
 Geranium spp
 Penstemon spp
 Erigeron spp
 Eriogonum umbellatum
 Vicia Americana
 Oenothera spp
 Calachortus nuttallii
 Aster spp
 Sphaeralcea spp

Western Yarrow (all colors)
 Arrowleaf Balsamroot
 Sunflower
 Mule's Ear
 Wild onion
 Indian Paintbrush
 Lubine
 Wild Geranium (indigenous sp)
 Penstemon
 Fleabane
 Umbrella Buckwheat
 American Vetch
 Evening Primrose
 Sego Lilly (Utah's State Flower)
 Aster
 Globemallow

Grasses (for unmown/natural areas)

Agropyron smithii
Agropyron spicatum
Bromus marginatus
Carex spp
Elymus cinerus
Festuca ovina
Koeleria cristata
Oryzopsis hymenoides
Poa pratensis
Poa bulbosa
Sitanion hystrix
Stipa spp

Western Wheatgrass
Bluebunch Wheatgrass
Mountain Brome
Carex
Great Basin Wildrye
Sheep fescue
Prairie Junegrass
Indian Ricegrass
Kentucky Bluegrass
Bulbous Bluegrass
Bottlebrush Squirreiltail
Needle Grass

APPROVED NATIVE AND COMPATIBLE PLANT LIST
Natural Areas/Homesites
More Draught Tolerant Species
(supplemental irrigation recommended)

Trees

Acer ginnalla
Acer glabrum
Alnus incana
Betula occidentalis
Craetaegus douglasii
Picea pungens
Picea omorika
Pinus aristata
Pinus nigra
Populus acuminata
Populus tremuloides
Prunus virginiana
Quercus gambellii

Amur Maple
Rocky Mountain Maple
Alder
Western Water Birch
Black Hawthorne
Colorado Spruce
Serbian Spruce
Bristlecone Pine
Austrian Pine
Cottonwood
Quaking Aspen
Chokecherry
Gambel Oak

Shrubs

Amelanchier alnifolia
Artemisia ssp.
Cercocarpus ledifolius
Chrysothamnus nauseosis
Cornus stolonifera
Pachystima myrsinites
Physocarpus malvaceus
Potentilla fruticosa
Ribes alpinum
Rhus glabra
Rosa woodsii
Salix exigua
Symphoricarpos occidentalis

Saskatoon Serviceberry
Sage
Curleaf Mountain Mahogany
Rubber Rabbitbrush
Red Osier Dogwood
Mountain Lover
Ninebark
Potentilla
Alpine Currant
Smooth Sumac
Wood's Rose
Coyote Willow
Western Snowberry

Perennial Flowers

Achillea millefolium
Aconitum columbianum
Allium acuminatum
Aquilegia caerulea
Arctostaphylos uva-ursi

Western Yarrow (all colors)
Monkshood
Wild Onion
Columbine
Kinnickinnick

Aster alpinus
 Balsamorhiza sagittata
 Campanula carpatia
 Fragaria
 Geranium spp
 Gaillardia aristata
 Helianthus
 Lupinus spp
 Penstemon spp
 Oenothera spp
 Sedum acre
 Sphaeralcea spp
 Viguiera multiflora
 Wyethia amplexicaulis

Grasses

Agropyron smithii
 Agropyron spicatum
 Bromus marginatus
 Carex spp
 Elymus cineris
 Festuca ovina
 Koeleria cristata
 Oryzopsis hymenoides
 Poa pratensis
 Poa bulbosa
 Sitanion hystrix
 Stipa spp

Alpine Aster
 Arrowleaf Balsamroot
 Bellflower
 Strawberry
 Wild Geranium (indigenous species)
 Gaillardia
 Sunflower
 Lupine
 Penstemon
 Evening Primrose
 Utah Sedum
 Globemallow
 Showy Goldeneye
 Mule's Ear

Western Wheatgrass
 Bluebunch Wheatgrass
 Mountain Brome
 Carex
 Great Basin Wildrye
 Sheep Fescue
 Prairie Junegrass
 Indian Ricegrass
 Kentucky Bluegrass
 Bulbous Bluegrass
 Bottlebursh Squirreltail
 Needle Grass

ADDITIONAL APPROVED PLANT LIST

Building Envelope (irrigation recommended)

Trees

Acer ginnalla
Acer glabrum
Alnus incana
Betula occidentalis
Craetaegus douglasii
Picea pungens
Picea omorika
Pinus aristata
Pinus nigra
Populus acuminata
Populus tremuloides
Populus tremula 'erecta'
Prunus padus
Prunus virginiana
Quercus cambellii
Sorbus scopulina

Amur Maple
Rocky Mountain Maple
Alder
Western Water Birch
Black Hawthorne
Colorado Spruce
Serbian Spruce
Bristlecone Pine
Austrian Pine
Cottonwood
Quaking Aspen
Swedish Aspen
Mayday Tree
Chokecherry
Gambel Oak
Dwarf Mountain Ash

Shrubs

Amelanchier alnifolia
Cercocarpus ledifolius
Cornus stolonifera
Cotoneaster spp
Euonymus alatus
Lonicera spp
Pachystima myrsinites
Physocarpus malvaceus
Pinus mugo (dwarf spp)
Potentilla fruticosa
Purshia tridentata
Ribes alpinum
Rhus
Rosa woodsii
Salix spp
Salix purpurea
Symphoricarpos alba

Saskatoon Serviceberry
Curleaf Mountain Mahogany
Red Osier Dogwood
Cotoneaster species
Burning Bush
Honeysuckle
Mountain Lover
Ninebark
Mugo Pine
Potentilla
Antelope Bitterbrush
Alpine Currant
Sumacs
Wood's Rose
Coyote Willow
Blue HOAtic Willow
Snowberry

Perennial Flowers

Achillea millefolium
 Aconitum columbianum
 Alcea rosea
 Allium acuminatum
 Aquilegia caerulea
 Armeria caerulea
 Artemisia schmidtiana
 Aster alpinus
 Balsamorhiza sagittata
 Campanula carpatia
 Cerastium tomentosum
 Coreopsis
 Delphinium
 Dianthus
 Dicentra spectabilis
 Geranium spp
 Gaillardia aristata
 Helianthus
 Heuchera
 Iris missouriensis
 Iris siberica
 Linum lewisii
 Lupinus spp
 Monarda didyma
 Nepeta mussini
 Penstemon spp
 Papaver orientale
 Oenothera spp
 Rudbeckia hirta
 Sedum spp

Western Yarrow
 Monkshood
 Hollyhock
 Wild Onion
 Mountain Columbine
 Sea Pinks
 Silvermound
 Alpine Aster
 Arrowleaf Balsamroot
 Bellflower
 Snow in Summer
 Coreopsis
 Larkspur
 Dianthus
 Bleeding heart
 Geranium
 Gaillardia
 Sunflower
 Coral Bells
 Western Sweet Flag
 Siberian Iris
 Blue Flax
 Lupine
 Bee Balm
 Nepeta
 Penstemon
 Poppy
 Evening Primrose
 Daisies
 Sedum

Grasses

Agropyron smithii
 Agropyron spicatum
 Aristida purpurea
 Boutelous curtipendula
 Bromus marginatus
 Carex spp
 Elymus cinereus
 Festuca arundinacea
 Festuca ovina

Western Wheatgrass
 Bluebunch Wheatgrass
 Purple Threeawn
 Side Oats Grama
 Mountain Brome
 Carex
 Great Basin Wildrye
 Tall Fescue
 Sheep Fescue

Festuca ovina 'glaucua'
 Festuca rubra
 Koeleria cristata
 Miscanthus
 Oryzopsis hymenoides
 Phalaris arundinacea
 Poa alpine
 Poa bulbosa
 Poa secunda
 Sitanion hystrix
 Stipa spp

Groundcovers

Aegopodium
 HOAtostaphylos uva-ursi
 Gallium odorata
 Fragaria
 Lysimanchia numularia
 Mahonia repens
 Phlox subulata
 Sedum acre
 Thymus serpyllum
 Thymus
 Vinca minor

Vines

Lonicera ssp.

Blue Fescue
 Red Fescue
 Prairie Junegrass
 Maidengrass
 Indian Ricegrass
 Reed Canarygrass
 Alpine Bluegrass
 Bulbous Bluegrass
 Sandberg Bluegrass
 Bottlebrush Squirreldail
 Needle Grass

Snow of the Mountain
 Kinnickinnick
 Sweet Woodruff
 Strawberry
 Creeping Jenny
 Creeping Oregon Grape
 Phlox
 Utah Sedum
 Mother of Thyme
 Woolly Thyme
 Vinca

Dropmore Scarlet Honeysuckle

APPENDIX B
DESIGN REVIEW SUBMITTAL CHECK LIST

DESIGN REVIEW SUBMITTAL CHECK LIST

1. **PRE-DESIGN CONFERENCE (Must occur prior to commencement of design)**
 - Confirm sign off on conditions depicted in the Individual Lot Plan (to be completed at time of lot purchase)
 - Review Design Guidelines, CC&Rs and Wasatch (or Summit) County codes and ordinances
 - Schedule meeting with a member or members of the ARC on site
 - Discuss driveway configuration and any special site opportunities and constraints
 - Obtain copy of Design Review Application
 - Ask and answer questions related to the design and approval of residences at Trappers Crossing
2. **PRELIMINARY DESIGN SUBMITTAL**
 - Site plan with topography
 - Survey with legal description
 - Floor plans
 - Exterior elevations
 - Preliminary landscape plan
 - Preliminary lighting plan
 - Supplemental drawings, materials and studies requested during the Pre-Design Conference
 - Review fee and application

RESULT: Approval or denial from the ARC within 45 days
3. **FINAL DESIGN SUBMITTAL**
 - Final site plan
 - Final floor plans
 - Roof plan
 - Building section
 - Exterior elevations
 - Materials sample board for exterior materials
 - Final landscape plan
 - Final lighting plan
 - Construction site plan
 - Complete set of construction documents (plans and specifications)
 - Structural certifications
 - Construction time schedule
 - Proof of bond

RESULT: Final approval or denial from the ARC within 30 days

- 4. OBTAIN COUNTY BUILDING PERMIT**
- 5. CONSTRUCTION COMMENCEMENT (within 12 months of final ARC approval)**
- 6. CERTIFICATE OF FINAL CONSTRUCTION APPROVAL**
 - Issued by the ARC upon completion of construction and all required inspections**